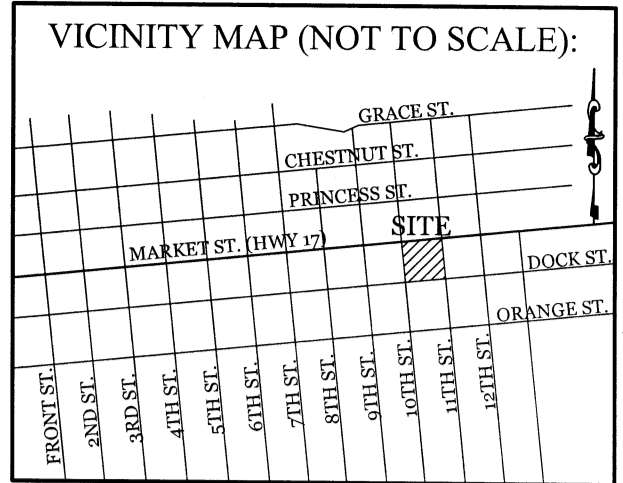


SURVEY NOTES:
 1. THE SURVEY INFORMATION SHOWN ON THIS PLAN IS FROM A FIELD SURVEY COMPLETED IN JUNE 2016 BY MICHAEL UNDERWOOD AND ASSOCIATES, PA.
 2. NO SIGNIFICANT TREES EXIST ON SITE.

DEMOLITION NOTES:
 EXISTING IMPERVIOUS SURFACES:
 PAVEMENT/BLDG PADS = 34,330 SF (63%)
 TO BE REMOVED = 34,330 SF
 OFFSITE IMPERVIOUS SURFACES:
 DRIVEWAY APRONS/SIDEWALK = 1,892 SF



REVISIONS

2/16/17	REVISIONS PER TRC COMMENTS
3/1/17	SIZE AND LOCATION OF WATER SERVICE TO BUILDING REVISED.

INTRACOASTAL ENGINEERING, PLLC
 5725 Oleander Dr. Unit E-7
 Wilmington, North Carolina 28403
 Phone: (910) 859-8983
 Email: Charlie@intracoastalengineering.com
 License Number P-06662

EXISTING CONDITIONS AND DEMOLITION PLAN
 FOR
FAMILY FARE MARKET ST.
 WILMINGTON, NC

Charles D. Cazier
 2.2.17

CLIENT INFORMATION:
 M. M. FOWLER, INC.
 LEE BARNES
 4220 NEAL ROAD
 DURHAM, NC 27705
 919-309-2925 EXT. 215

DRAWN:	BPD	SHEET SIZE:	24 x 36
CHECKED:	CDC	DATE:	2/2/2017
APPROVED:	CDC	SCALE:	1" = 20'
PROJECT NUMBER:	2015-049		

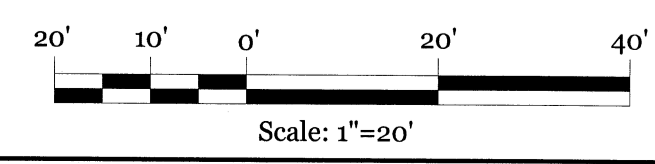
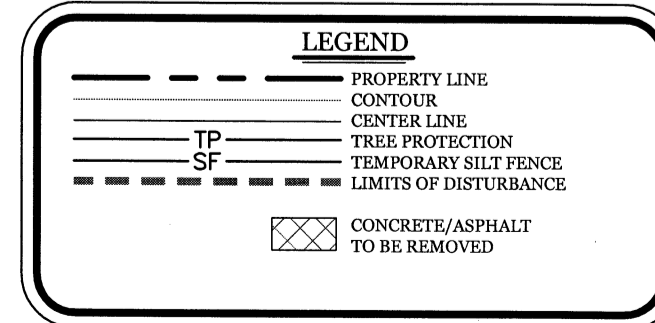
DRAWING NUMBER:
C-1
 1 OF 9

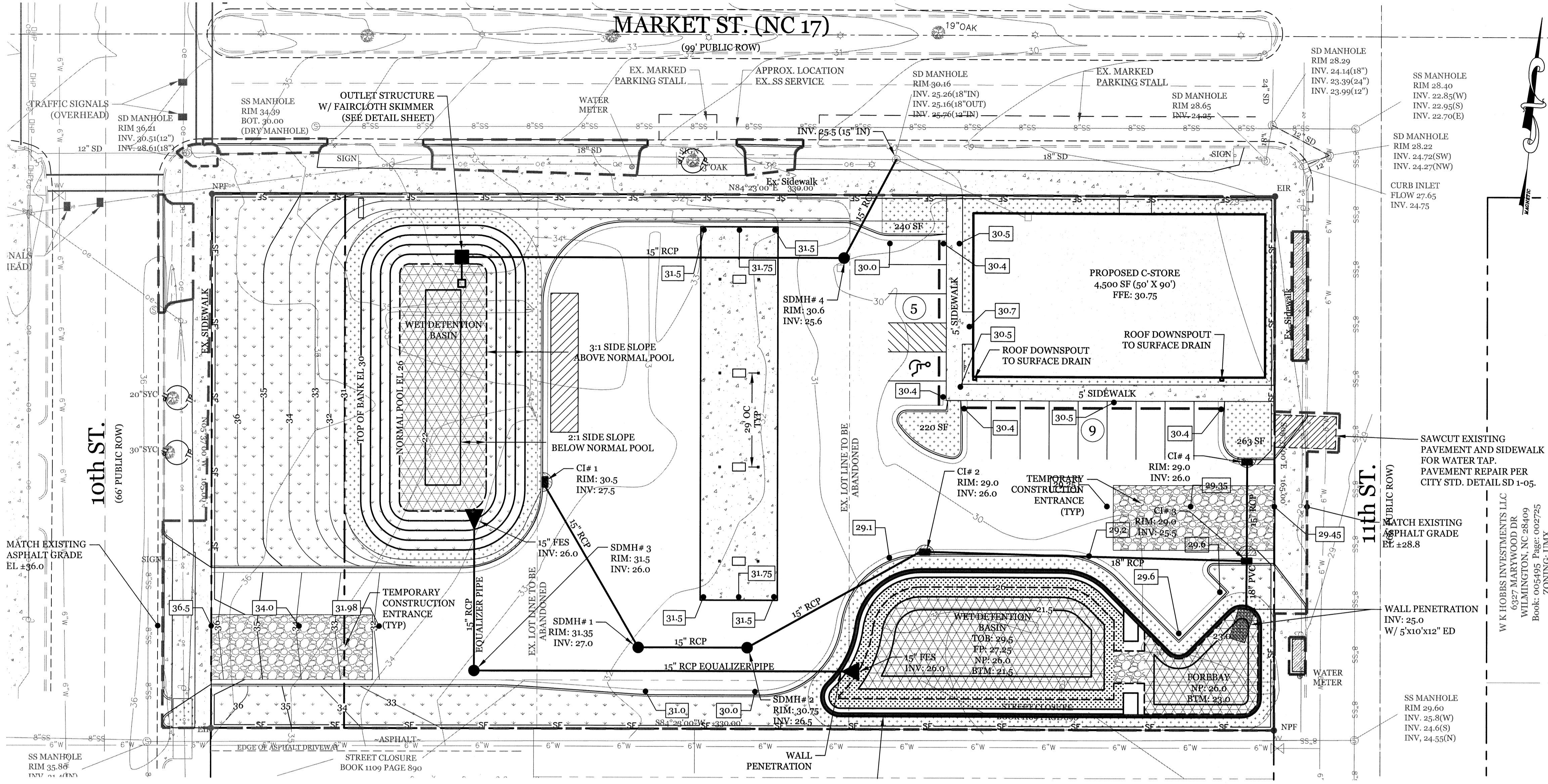
Approved Construction Plan

Name	Date
Planning	
Public Utilities	
Traffic	
Fire	

WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division
 APPROVED STORMWATER MANAGEMENT PLAN

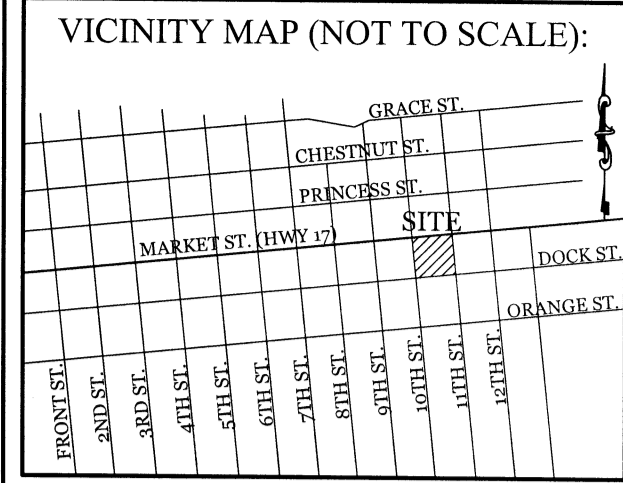
Date: _____ Permit # _____
 Signed: _____





NORTH CAROLINA TEMPORARY GRASSING DETAIL

SEEDING MIXTURE SPECIES	APPLICATION RATE
LATE WINTER & EARLY SPRING: Rye (grain) Annual Lespedeza (Kobe in Piedmont and Coastal Plain, Korean in Mountains) <i>Omit annual Lespedeza when duration of temporary cover is not to extend beyond June</i>	100 (lb/acre)
SUMMER: German Millet In the Piedmont and Mountains, a small-stemmed sudangrass may be substituted at a rate of 50 (lb/acre)	40 (lb/acre)
FALL: Rye (grain)	120 (lb/acre)
SEEDING DATES	
LATE WINTER & EARLY SPRING: Mountains - Above 2500 ft. Feb. 15-May 15 Piedmont - Jan. 1-May 1 Coastal Plain - Dec. 1-Apr. 15	
SUMMER: Mountains - May 15-Aug. 15 Piedmont - May 1-Aug. 15 Coastal Plain - Apr. 15-Aug. 15	
FALL: Mountains - Aug. 15-Dec. 15 Coastal Plain and Piedmont - Aug. 15-Dec. 30	
SOIL AMENDMENTS: Follow recommendations of soil tests or apply 2,000 lb/acre ground agricultural limestone and 750 lb/acre 10-10-10 fertilizer.	
MULCH: apply 4,000 lb/acre straw. anchor straw by tacking with asphalt, netting, or a mulch anchoring tool. A disk with blades set nearly straight can be used as a mulch anchoring tool.	
MAINTENANCE: Refertilize if growth is not fully adequate. reseed, refertilize and mulch immediately following erosion or other damage.	



REVISIONS

DATE	REVISIONS PER TRC COMMENTS
2/16/17	REVISIONS PER TRC COMMENTS
3/1/17	SIZE AND LOCATION OF WATER SERVICE TO BUILDING REVISION

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NORTH CAROLINA PERMANENT GRASSING DETAIL

SEEDING MIXTURE SPECIES	APPLICATION RATE
FALL & WINTER: Tall Fescue (blend of two or three improved varieties) Rye (grain)	200 (lb/acre) 25 (lb/acre)
SPRING & SUMMER: Pensacola Bahiagrass Sericea Lespedeza Common Bermudagrass German Millet Tall Fescue	50 (lb/acre) 30 (lb/acre) 10 (lb/acre) 10 (lb/acre) 50 (lb/acre)
SEEDING DATES	
FALL & WINTER: January - April August - December	
SOIL AMENDMENTS: Apply lime and fertilizer according to soil tests, or apply 3,000-5,000 lb/acre ground agricultural limestone (use the lower rate on sandy soils) and 1,000 lb/acre 10-10-10 fertilizer.	
MAINTENANCE: Fertilize according to soil tests or apply 40 lb/acre nitrogen in January or February, 40 lb in September and 40 lb in November, from a 12-4-8, 16-4-8, or similar turf fertilizer. Avoid fertilizer applications during warm weather, as this increases stand losses to disease. Reseed, fertilize, and mulch damaged areas immediately. mow to a height of 2.5-3.5 inches as needed.	
SPRING & SUMMER: April 1 - July 15	
SOIL AMENDMENTS: Apply lime and fertilizer according to soil tests, or apply 3,000 lb/acre ground agriculture limestone and 500 lb/acre 10-10-10 fertilizer.	
MAINTENANCE: Refertilize the following April with 50 lb/acre nitrogen. Repeat as growth requires. may be mowed only once a year. Where a neat appearance is desired, omit sericea and mow as often as needed.	
MULCH: apply 4,000 lb/acre straw. anchor straw by tacking with asphalt, netting, or a mulch anchoring tool. A disk with blades set nearly straight can be used as a mulch anchoring tool.	

SEDIMENTATION & EROSION CONTROL PLAN

FOR
FAMILY FARE MARKET ST.
WILMINGTON, NC

- #### CONSTRUCTION SEQUENCE:
- CONSTRUCTION OF SITE TO START WITH INSTALLATION OF CONSTRUCTION ENTRANCE AND SILT FENCE ALONG ALL LOCATIONS PER PLANS. UPON INSTALLATION OF SILT FENCE, DEMOLITION OF EXISTING IMPERVIOUS PAVEMENT AND DRAINAGE STRUCTURES IDENTIFIED TO BE REMOVED MAY BEGIN. ALL SLOPED AREAS SHOULD BE SEEDED IN ACCORDANCE TO SPECIFICATIONS. SLOPE STABILIZATION IS WITHIN 21 CALENDAR DAYS OF CEASE OF ANY PHASE OF CONSTRUCTION. ALL OTHER AREAS MUST BE STABILIZED WITHIN 15 WORKING DAYS. CONTRACTOR TO FOLLOW NPDES STABILIZATION REQUIREMENTS PER TABLE ON THIS SHEET AS WELL. MOST STRINGENT REQUIREMENT TO BE MET.
 - GENERAL CLEARING AND GRADING OF THIS SITE WILL NOT BE DONE UNTIL THE TEMPORARY SILT FENCE & CONSTRUCTION ENTRANCE HAS BEEN INSTALLED.
 - NO CUT SLOPE OR FILL SLOPE SHALL EXCEED A RISE OR FALL OF ONE FOOT FOR EVERY RUN OF 3 FEET (1 VERTICAL TO 3 HORIZONTAL).
 - NO SEDIMENT WILL BE ALLOWED TO EXIT THE SITE. ALL EROSION SHALL BE CONTROLLED INCLUDING SIDE SLOPES DURING AND AFTER CONSTRUCTION.
 - INSTALL PRIMARY EROSION CONTROL MEASURES BEFORE BEGINNING CONSTRUCTION INCLUDING BUT NOT LIMITED TO GRAVELED CONSTRUCTION ENTRANCE, SILT FENCE, TREE PROTECTION FENCE & SEDIMENT BASINS. CONTRACTOR TO BE FAMILIAR WITH USACE GENERAL PERMIT CONDITIONS FOR ROAD CROSSINGS. SPECIFIC CONSTRUCTION METHODS MAY BE REQUIRED ABOVE AND BEYOND WHAT IS SPECIFIED IN THIS PLAN. INSTALL ALL SECONDARY EROSION CONTROL MEASURES, SUCH AS INLET PROTECTION AS SOON AS POSSIBLE AFTER BEGINNING CONSTRUCTION.
 - ALL EROSION CONTROL MEASURES TO BE INSPECTED AFTER EACH RAIN. SILT FENCE AND INLET PROTECTION TO BE CLEANED WHEN HALF FULL.
 - A 4" LAYER OF TOPSOIL SHALL BE APPLIED TO ALL NEW AREAS TO BE GRASSED.
 - MAINTAIN ALL EROSION CONTROL MEASURES UNTIL PROJECT IS COMPLETE.
 - MORE STRINGENT MEASURES MAY BE REQUIRED TO HALT EROSION IF THOSE ON THIS PLAN PROVE TO BE LESS EFFECTIVE.
 - REMOVE ALL TEMPORARY EROSION CONTROL MEASURES UPON COMPLETION OF CONSTRUCTION. ALL PERMANENT MEASURES SHALL BE WELL ESTABLISHED PRIOR TO PROJECT COMPLETION.

- #### MAINTENANCE PLAN:
- ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY RUNOFF-PRODUCING RAINFALL, BUT IN NO CASE, LESS THAN ONCE EVERY WEEK AND WITHIN 24 HOURS OF EVERY HALF INCH RAINFALL.
 - ALL POINTS OF EGRESS WILL HAVE CONSTRUCTION ENTRANCES THAT WILL BE PERIODICALLY TOP-DRESSED WITH AN ADDITIONAL 3 INCHES OF 2-3 INCH STONE TO MAINTAIN PROPER DEPTH. THEY WILL BE MAINTAINED IN A CONDITION TO PREVENT MUD OR SEDIMENT FROM LEAVING THE SITE. IMMEDIATELY REMOVE OBJECTIONABLE MATERIAL SPILLED, WASHED OR TRACKED ONTO THE CONSTRUCTION ENTRANCE OR ROADWAYS.
 - SEDIMENT WILL BE REMOVED FROM HARDWARE CLOTH AND GRAVEL INLET PROTECTION, ROCK DOUGHNUT INLET PROTECTION, SEDIMENT TRAP BAFFLES, AND ROCK PIPE INLET PROTECTION WHEN THE DESIGNED STORAGE CAPACITY HAS BEEN HALF FILLED WITH SEDIMENT. ROCK WILL BE CLEANED OR REPLACED WHEN THE SEDIMENT POOL NO LONGER DRAINS AS DESIGNED. DEBRIS WILL BE REMOVED FROM THE ROCK AND HARDWARE CLOTH TO ALLOW PROPER DRAINAGE. SILT SACKS WILL BE EMPTIED ONCE A WEEK AND AFTER EVERY RAIN EVENT. SEDIMENT WILL BE REMOVED FROM AROUND BEAVER DAMS, DANDY SACKS AND SOCKS ONCE A WEEK AND AFTER EVERY RAIN EVENT.
 - CHECK SEDIMENT BASIN AND BAFFLES WEEKLY & AFTER EACH RAINFALL EVENT. REMOVE SEDIMENT FROM TRAP & BAFFLES AND RESTORE TO ORIGINAL VOLUME WHEN SEDIMENT ACCUMULATES TO ABOUT 1/4 THE DESIGN VOLUME. REPAIR / REPLACE BAFFLES IF TORN, COLLAPSED, OR INEFFECTIVE.
 - DIVERSION DITCHES WILL BE CLEANED OUT IMMEDIATELY TO REMOVE SEDIMENT OR OBSTRUCTIONS FROM THE FLOW AREA. THE DIVERSION RIDGES WILL ALSO BE REPAIRED. SWALES MUST BE TEMPORARILY STABILIZED WITHIN 21 CALENDAR DAYS OF CEASE OF ANY PHASE OF ACTIVITY ASSOCIATED WITH A SWALE. SEDIMENT WILL BE REMOVED FROM BEHIND THE SEDIMENT FENCE WHEN IT BECOMES HALF FILLED. THE SEDIMENT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER. STAKES MUST BE STEEL. STAKE SPACING WILL BE 6 FEET MAX. WITH THE USE OF EXTRA STRENGTH FABRIC, WITHOUT WIRE BACKING. STAKE SPACING WILL BE 8 FEET MAX WHEN STANDARD STRENGTH FABRIC AND WIRE BACKING ARE USED. IF ROCK FILTERS ARE DESIGNED AT LOW POINTS IN THE IN THE SEDIMENT FENCE THE ROCK WILL BE REPAIRED OR REPLACED IF IT BECOMES HALF FULL OF SEDIMENT, NO LONGER DRAINS AS DESIGNED OR IS DAMAGED.
 - ANY PORTION OF WET DETENTION BASINS USED FOR S&E DURING CONSTRUCTION MUST BE CLEANED OUT AND RETURNED TO DESIGN STATE.

- #### SURVEY NOTES:
- THE SURVEY INFORMATION SHOWN ON THIS PLAN IS FROM A FIELD SURVEY COMPLETED IN JUNE 2016 BY MICHAEL UNDERWOOD AND ASSOCIATES, PA.
 - NO SIGNIFICANT TREES EXIST ON SITE.

- #### DEVELOPMENT NOTES:
- ALL DEVELOPMENT SHALL BE IN ACCORDANCE WITH CITY OF WILMINGTON ZONING ORDINANCE.
 - PROJECT SHALL COMPLY WITH ALL FEDERAL, STATE & NEW HANOVER COUNTY REGULATIONS.
 - PROPERTY IS LOCATED IN ZONE "X" ACCORDING TO THE FEMA FLOOD INSURANCE RATE MAP, 3720312700J COMMUNITY-PANEL NUMBER 3127, DATED 04/03/06

SYMBOL	GROUND STABILIZATION CRITERIA
	* Perimeter dikes, swales, ditches and slopes 7 Days None
	* High Quality Water (HQW) Zones 7 Days None
	* Slopes Steeper than 3:1 7 Days If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed
	* Slopes 3:1 or flatter 14 Days greater than 50 ft. in length
	* All other areas with slopes flatter than 4:1 14 Days None (except for perimeters & HQW Zones)

Approved Construction Plan

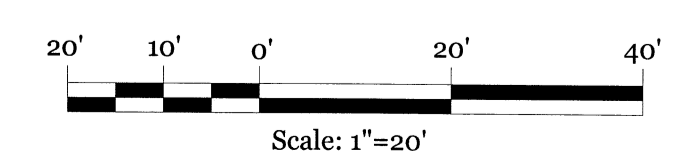
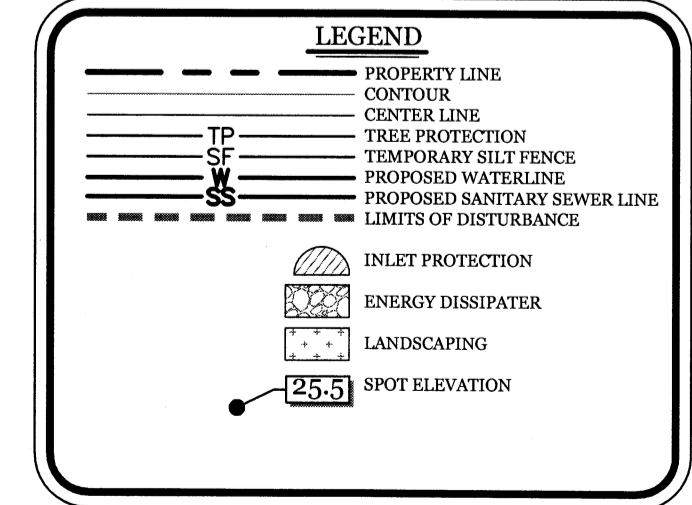
Name	Date
Planning	
Public Utilities	
Traffic	
Fire	

CITY OF WILMINGTON

Public Services • Engineering Division

APPROVED STORMWATER MANAGEMENT PLAN

Date: _____ Permit # _____
Signed: _____



Charles D. Catter
2.2.17

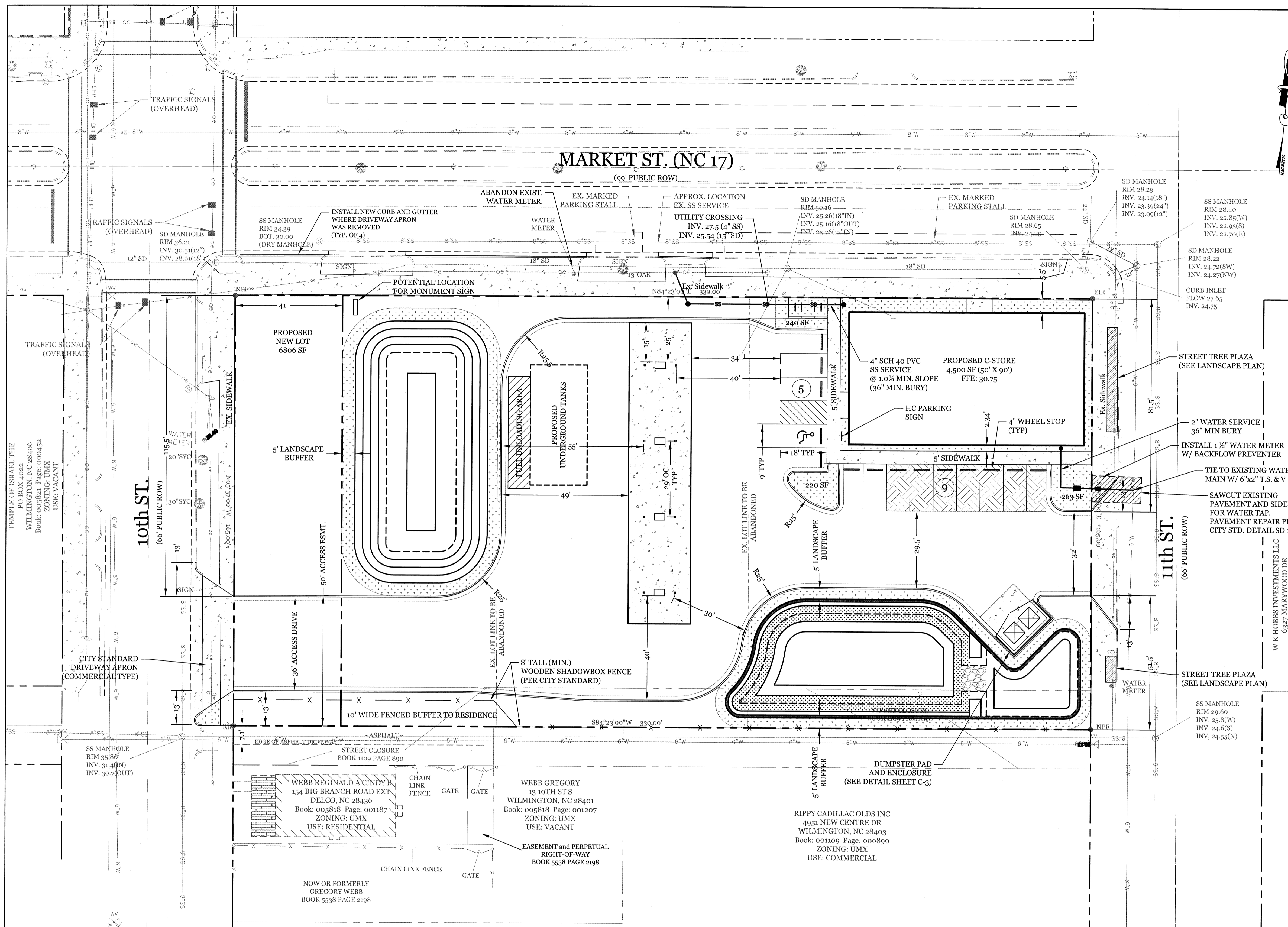
CLIENT INFORMATION:

M. M. FOWLER, INC.
LEE BARNES
4220 NEAL ROAD
DURHAM, NC 27705
919-309-2925 EXT. 215

DRAWN: BPD	SHEET SIZE: 24 x 36
CHECKED: CDC	DATE: 2/2/2017
APPROVED: CDC	SCALE: 1" = 20'
PROJECT NUMBER: 2015-049	

DRAWING NUMBER: **C-2**

2 OF 9



SITE DATA:
 PROPERTY CURRENTLY OWNED BY:
 R & R COMPANY WILMINGTON LLC
 4951 NEW CENTRE DR
 WILMINGTON, NC 28403
 &
 RIPPY CADILLAC OLDS INC
 4951 NEW CENTRE DR
 WILMINGTON, NC 28401

PROPERTY ADDRESS:
 1032 MARKET ST
 WILMINGTON, NC

NEW HANOVER COUNTY PINS:
 R04818-030-004-000,
 R04818-030-003-000,
 R04818-030-001-000

TOTAL TRACT AREA: ±1.25 AC. (54,450 SF)
 DISTURBED AREA: ±1.29 AC. (56,342 SF)

CURRENT ZONING: CITY OF WILMINGTON
 UMX (URBAN MIXED USE)

CAMA CLASSIFICATION:
 URBAN

SETBACKS:
 FRONT REQ'D= 0' PROP= 4'
 REAR REQ'D= 0' PROP= 111'
 SIDE REQ'D= 0' PROP= 4'L/195'R

PROPOSED LAND USE:
 CONVENIENT STORE

GROSS FLOOR AREA:
 4,500 SF (8.3% LOT COVERAGE)

BUILDING HEIGHT: ±20'

BUILDING CONSTRUCTION: TYPE V-B, UNSPRINKLED

EXISTING IMPERVIOUS SURFACES:
 PAVEMENT/BLDG PADS = 34,330 SF (63%)
 TO REMAIN = 0 SF

PROPOSED ONSITE IMPERVIOUS SURFACES:
 BUILDINGS = 4,500 SF
 PAVEMENT = 25,814 SF
 (ASPHALT/CONCRETE)
 SIDEWALKS = 947 SF
 FUTURE (OUTPARCEL) = 4,504 SF
 TOTAL IMPERVIOUS = 35,765 SF (65.7%)

PROPOSED OFFSITE IMPERVIOUS SURFACES:
 DRIVEWAY APRONS/SIDEWALK = 1,500 SF

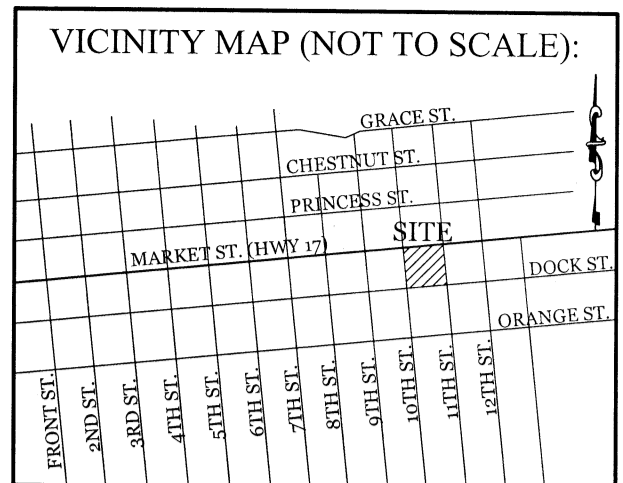
TOTAL PARKING PROVIDED: 14 SPACES (1 HC)

BICYCLE PARKING REQUIRED:
 (5 spaces or 1 per 1,000 sf GFA)
 REQUIRED: 5 SPACES
 PROVIDED: 8 SPACES

STREETYARD:
 REQUIRED: 0 SF
 PROVIDED: 0 SF

FOUNDATION PLANTINGS:
 REQUIRED: 336 SF (2,800 SF X 12%)
 PROVIDED: 450 SF

WATER AND SEWER DEMAND:
 (250 GPD PER PLUMBING FIXTURE)
 SEWER: @ 250 GPD X 4 = 1,000 GPD
 WATER: @ 250 GPD X 4 = 1,000 GPD



REVISIONS	
2/16/17	REVISIONS PER TRC COMMENTS
3/1/17	SIZE AND LOCATION OF WATER SERVICE TO BUILDING REVISED.

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 Email: charlie@intracoastalengineering.com
 License Number P-0662

SITE AND UTILITIES PLAN

FOR
FAMILY FARE MARKET ST.
 WILMINGTON, NC

Charles D. Cazier
 2.2.17

CLIENT INFORMATION:
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 LEE BARNES
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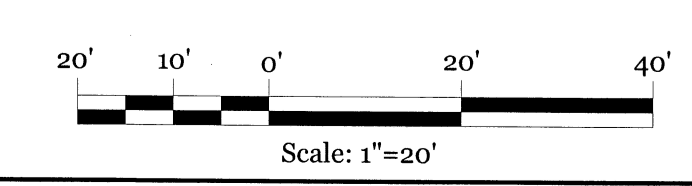
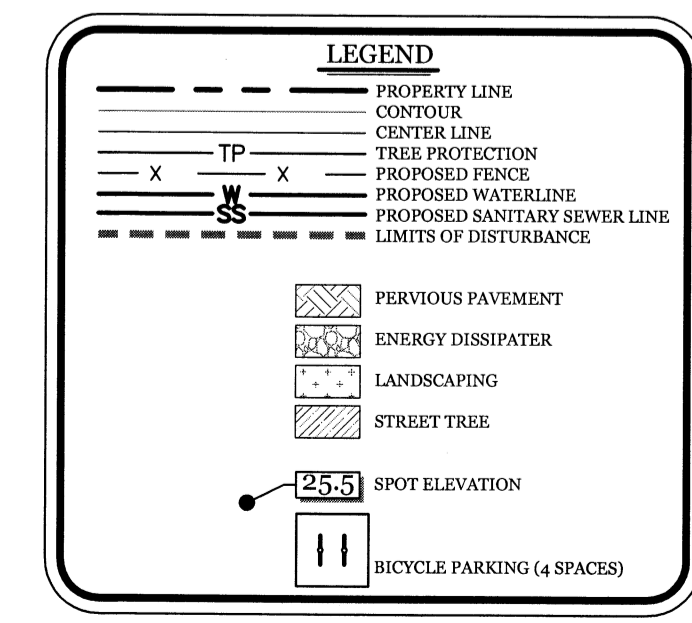
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APPROVED:	CDC	SCALE:	1" = 20'
PROJECT NUMBER:	2015-049		

DRAWING NUMBER:
C-3 3 OF 9

- SURVEY NOTES:**
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- DEVELOPMENT NOTES:**
- ALL DEVELOPMENT SHALL BE IN ACCORDANCE WITH CITY OF WILMINGTON ZONING ORDINANCE.
 - PROJECT SHALL COMPLY WITH ALL FEDERAL, STATE & NEW HANOVER COUNTY REGULATIONS.
 - PROPERTY IS LOCATED IN ZONE "X" ACCORDING TO THE FEMA FLOOD INSURANCE RATE MAP, 37203127001 COMMUNITY-PANEL NUMBER 3127, DATED 04/03/06
 - ALL SIGHT LIGHTING SHALL BE LOCATED, ANGLED, SHIELDED, AND/OR LIMITED IN INTENSITY SO AS TO CAST NO DIRECT LIGHT UPON ADJACENT PROPERTIES. SHALL MINIMIZE OFF-SITE BACKLIGHTING CLARE, AND UP-LIGHTING. LIGHT POSTS SHALL BE NO TALLER THAN TWELVE (12) FEET.

- UTILITY NOTES:**
- WATER AND SANITARY SEWER SERVICES ARE CURRENTLY AVAILABLE TO THE SITE FROM CAPE FEAR PUBLIC UTILITY AUTHORITY PUBLIC MAINS.
 - ALL PROPOSED UTILITY SERVICES, SUCH AS ELECTRIC POWER, CATV, GAS & TELEPHONE SHALL BE INSTALLED UNDERGROUND.
 - SOLID WASTE DISPOSAL BY PRIVATE DUMPSTER SERVICE.
 - ALL WATER & SEWER UTILITIES TO BE INSTALLED PER CPFA TECHNICAL SPECIFICATIONS & STANDARDS.
 - PROJECT SHALL COMPLY WITH CPFA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METER(S) CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND N.C.D.E.N.R. HAS ISSUED THEIR "FINAL APPROVAL". CALL 343-3910 FOR INFORMATION.
 - ANY BACKFLOW PREVENTION DEVICES REQUIRED BY THE CPFA WILL NEED TO BE ON THE LIST OF APPROVED DEVICES BY USCFCOCHR OR ASSE.
 - IF CONTRACTOR DESIRES CPFA WATER FOR CONSTRUCTION, HE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.
 - WHEN PVC WATER MAINS AND SERVICES ARE PROPOSED, THE PIPES ARE TO BE MARKED WITH NO. 10 INSULATED, SINGLE-STRAND COPPER WIRE INSTALLED & STRAPPED TO THE PIPES WITH DUCT TAPE. THIS IS TO BE ACCESSIBLE IN ALL VALVES AND METER BOXES TO AID IN FUTURE LOCATION OF FACILITIES.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OR EXISTING UTILITIES DURING CONSTRUCTION. CALL U-LOCO AT 1-800-622-4949. CONTRACTOR IS RESPONSIBLE FOR THE REPAIR AND REPLACEMENT OF ANY UTILITIES, CURB & GUTTER, PAVEMENT, ETC. THAT MAY BE DAMAGED DURING CONSTRUCTION. DAMAGED ITEMS SHALL BE REPAIRED TO AT LEAST THE QUALITY OR WORKMANSHIP FOUND IN THE ORIGINAL ITEM.
 - ALL HVAC EQUIPMENT WILL BE LOCATED ON THE ROOF OF THE CONVENIENCE STORE.

- GENERAL TRAFFIC NOTES:**
- ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS. [DETAIL SD -13 COFW TECH STDS]
 - ALL SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS. [DETAIL SD 15-13 COFW TECH STDS]
 - ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
 - ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
 - A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. NOTE THIS ON THE PLAN AND CONTACT 341-5888 FOR MORE DETAILS. IN CERTAIN CASES AN ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED.
 - ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING WILL BE REPLACED.
 - A LANDSCAPING PLAN INDICATING THE LOCATION OF REQUIRED STREET TREES SHALL BE SUBMITTED TO THE CITY OF WILMINGTON TRAFFIC ENGINEERING DIVISION AND PARKS AND RECREATION DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO THE RECORDING OF THE FINAL PLAT. [SD 15-14 COFW TECH STDS]
 - CONTACT TRAFFIC ENGINEERING AT 341-7888 FORTY-EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT OF WAY.
 - ALL PROPOSED VEGETATION WITHIN SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30' TO 10'.



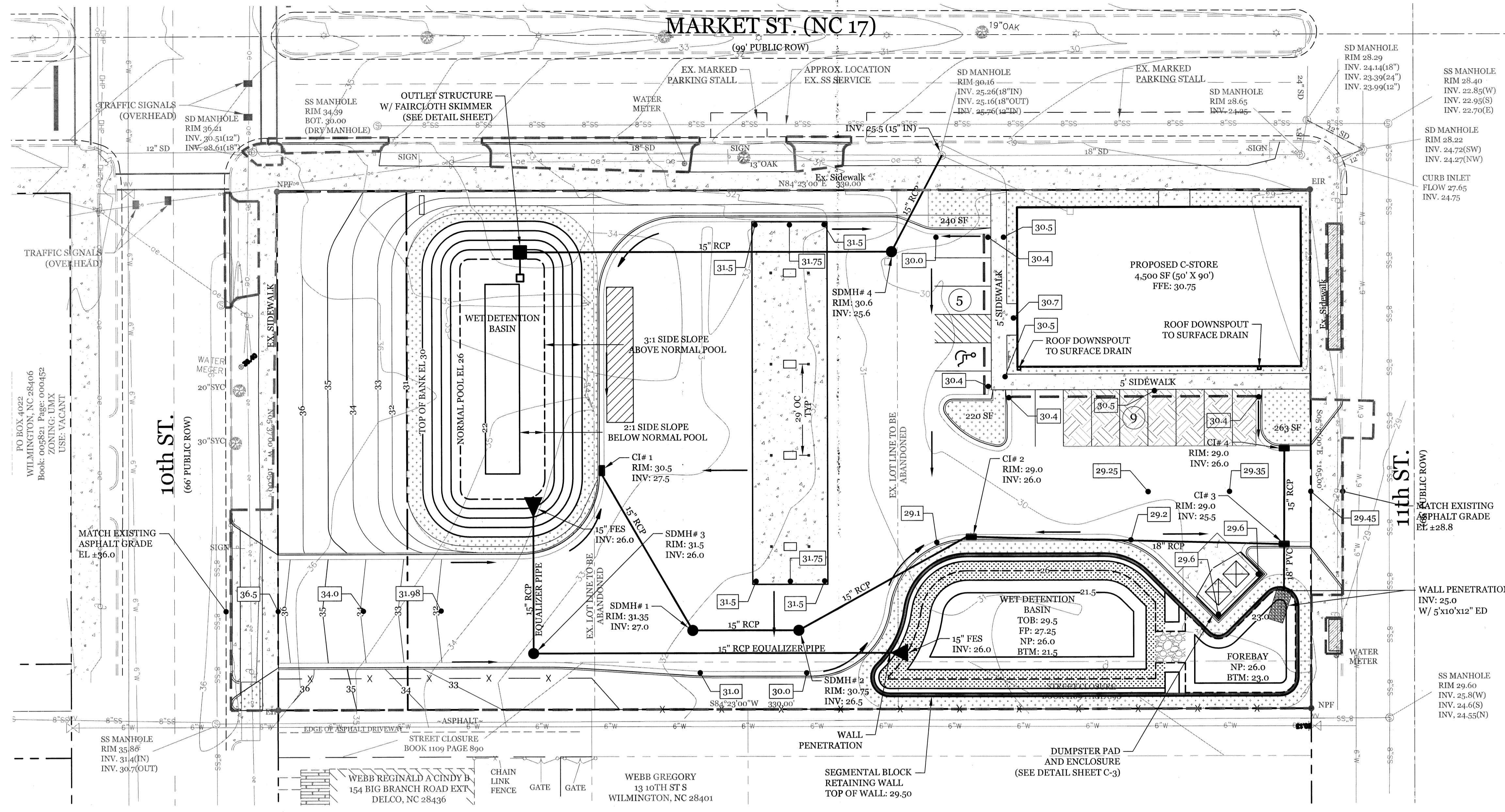
CITY OF WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division
 APPROVED STORMWATER MANAGEMENT PLAN

Date: _____ Permit # _____

Signed: _____

Approved Construction Plan

Name	Date
Planning	
Public Utilities	
Traffic	
Fire	

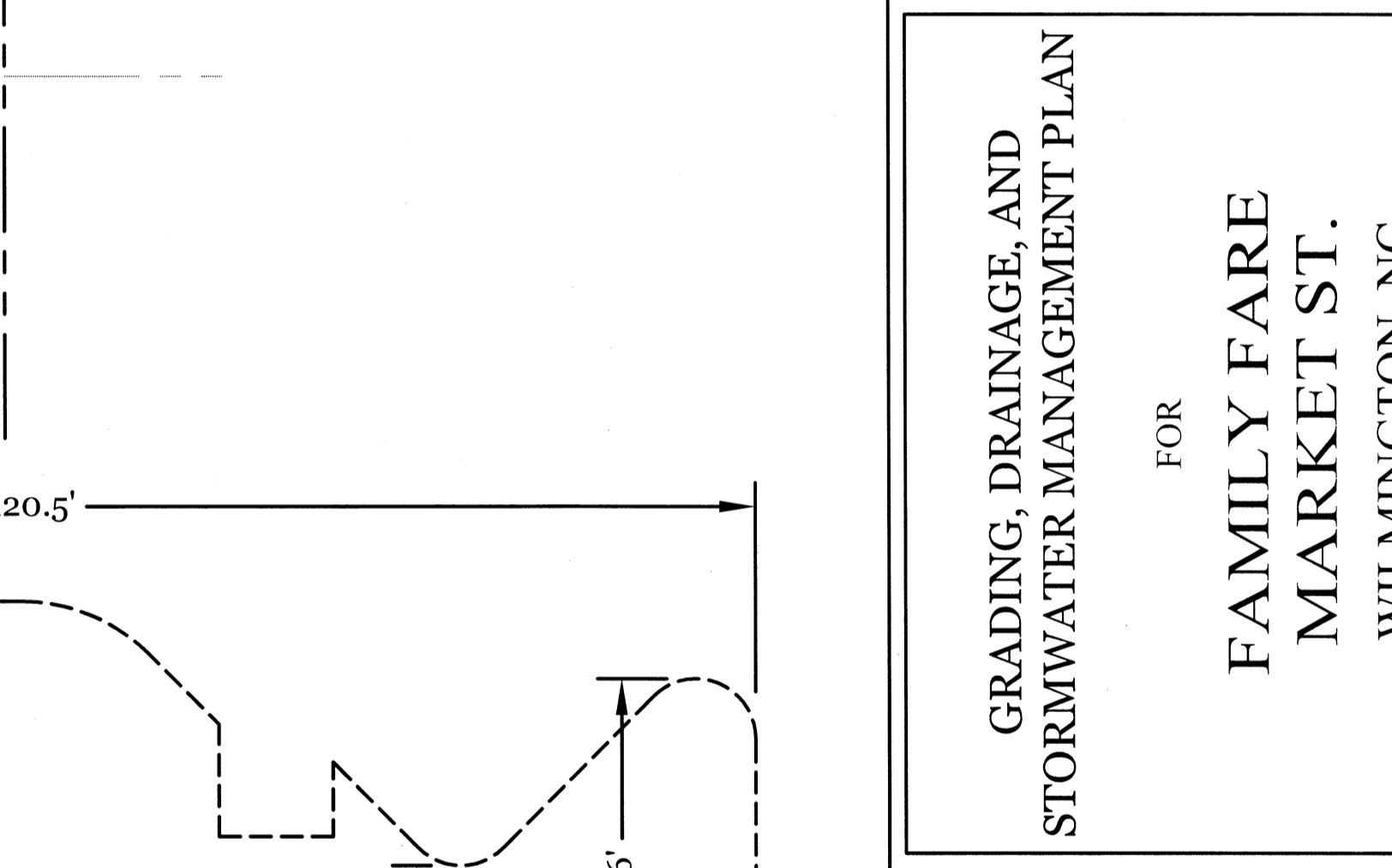


REVISIONS

DATE	REVISIONS PER TRC COMMENTS
2/16/17	

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 Phone: (910) 859-8983
 Email: Charlie@intracoastalengineering.com
 License Number P-0662

FOR
FAMILY FARE MARKET ST.
 WILMINGTON, NC



- CONSTRUCTION SEQUENCE:**
- CONSTRUCTION OF SITE TO START WITH INSTALLATION OF CONSTRUCTION ENTRANCE AND SILT FENCE ALONG ALL LOCATIONS PER PLANS. UPON INSTALLATION OF SILT FENCE, DEMOLITION OF EXISTING IMPERVIOUS PAVEMENT AND DRAINAGE STRUCTURES IDENTIFIED TO BE REMOVED MAY BEGIN. ALL SLOPED AREAS SHOULD BE SEDED IN ACCORDANCE TO SPECIFICATIONS. SLOPE STABILIZATION IS WITHIN 21 CALENDAR DAYS OF ANY PHASE OF CONSTRUCTION. ALL OTHER AREAS MUST BE STABILIZED WITHIN 15 WORKING DAYS. CONTRACTOR TO FOLLOW NPDES STABILIZATION REQUIREMENTS PER TABLE ON THIS SHEET AS WELL. MOST STRINGENT REQUIREMENT TO BE MET.
 - GENERAL CLEARING AND GRADING OF THIS SITE WILL NOT BE DONE UNTIL THE TEMPORARY SILT FENCE & CONSTRUCTION ENTRANCE HAS BEEN INSTALLED.
 - NO CUT SLOPE OR FILL SLOPE SHALL EXCEED A RISE OR FALL OF ONE FOOT FOR EVERY RUN OF 3 FEET (1 VERTICAL TO 3 HORIZONTAL).
 - NO SEDIMENT WILL BE ALLOWED TO EXIT THE SITE. ALL EROSION SHALL BE CONTROLLED INCLUDING SIDE SLOPES DURING AND AFTER CONSTRUCTION.
 - INSTALL PRIMARY EROSION CONTROL MEASURES BEFORE BEGINNING CONSTRUCTION INCLUDING BUT NOT LIMITED TO GRAVELED CONSTRUCTION ENTRANCE, SILT FENCE, TREE PROTECTION FENCE & SEDIMENT BASINS. CONTRACTOR TO BE FAMILIAR WITH USACE GENERAL PERMIT CONDITIONS FOR ROAD CROSSINGS. SPECIFIC CONSTRUCTION METHODS MAY BE REQUIRED ABOVE AND BEYOND WHAT IS SPECIFIED IN THIS PLAN. INSTALL ALL SECONDARY EROSION CONTROL MEASURES, SUCH AS INLET PROTECTION AS SOON AS POSSIBLE AFTER BEGINNING CONSTRUCTION.
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 - MAINTAIN ALL EROSION CONTROL MEASURES UNTIL PROJECT IS COMPLETE.
 - MORE STRINGENT MEASURES MAY BE REQUIRED TO HALT EROSION IF THOSE ON THIS PLAN PROVE TO BE LESS EFFECTIVE.
 - REMOVE ALL TEMPORARY EROSION CONTROL MEASURES UPON COMPLETION OF CONSTRUCTION. ALL PERMANENT MEASURES SHALL BE WELL ESTABLISHED PRIOR TO PROJECT COMPLETION.

- MAINTENANCE PLAN:**
- ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY RUNOFF-PRODUCING RAINFALL, BUT IN NO CASE, LESS THAN ONCE EVERY WEEK AND WITHIN 24 HOURS OF EVERY HALF INCH RAINFALL.
 - ALL POINTS OF EGRESS WILL HAVE CONSTRUCTION ENTRANCES THAT WILL BE PERIODICALLY TOP-DRESSED WITH AN ADDITIONAL 2 INCHES OF 2-3 INCH STONE TO MAINTAIN PROPER DEPTH. THEY WILL BE MAINTAINED IN A CONDITION TO PREVENT MUD OR SEDIMENT FROM LEAVING THE SITE. IMMEDIATELY REMOVE OBJECTIONABLE MATERIAL SPILLED, WASHED OR TRACKED ONTO THE CONSTRUCTION ENTRANCE OR ROADWAYS.
 - SEDIMENT WILL BE REMOVED FROM HARDWARE CLOTH AND GRAVEL INLET PROTECTION, ROCK DOUGHNUT INLET PROTECTION, SEDIMENT TRAP Baffles, AND ROCK PIPE INLET PROTECTION WHEN THE DESIGNED STORAGE CAPACITY HAS BEEN HALF FILLED WITH SEDIMENT. ROCK WILL BE CLEANED OR REPLACED WHEN THE SEDIMENT POOL NO LONGER DRAINS AS DESIGNED. DEBRIS WILL BE REMOVED FROM THE ROCK AND HARDWARE CLOTH TO ALLOW PROPER DRAINAGE. SILT SACKS WILL BE EMPTIED ONCE A WEEK AND AFTER EVERY RAIN EVENT. SEDIMENT WILL BE REMOVED FROM AROUND BEAVER DAMS, DANDY SACKS AND SOCKS ONCE A WEEK AND AFTER EVERY RAIN EVENT.
 - CHECK SEDIMENT BASIN AND Baffles WEEKLY & AFTER EACH RAINFALL EVENT. REMOVE SEDIMENT FROM TRAP & Baffles AND RESTORE TO ORIGINAL VOLUME WHEN SEDIMENT ACCUMULATES TO ABOUT 1/4 THE DESIGN VOLUME. REPAIR / REPLACE Baffles IF TORN, COLLAPSED, OR INEFFECTIVE.
 - DIVERSION DITCHES WILL BE CLEANED OUT IMMEDIATELY TO REMOVE SEDIMENT OR OBSTRUCTIONS FROM THE FLOW AREA. THE DIVERSION RIDGES WILL ALSO BE REPAIRED. SWALES MUST BE TEMPORARILY STABILIZED WITHIN 21 CALENDAR DAYS OF CEASE OF ANY PHASE OF ACTIVITY ASSOCIATED WITH A SWALE. SEDIMENT WILL BE REMOVED FROM BEHIND THE SEDIMENT FENCE WHEN IT BECOMES HALF FILLED. THE SEDIMENT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER. STAKES MUST BE STEEL. STAKE SPACING WILL BE 6 FEET MAX. WITH THE USE OF EXTRA STRENGTH FABRIC, WITHOUT WIRE BACKING. STAKE SPACING WILL BE 8 FEET MAX WHEN STANDARD STRENGTH FABRIC AND WIRE BACKING ARE USED. IF ROCK FILTERS ARE DESIGNED AT LOW POINTS IN THE IN THE SEDIMENT FENCE THE ROCK WILL BE REPAIRED OR REPLACED IF IT BECOMES HALF FULL OF SEDIMENT, NO LONGER DRAINS AS DESIGNED OR IS DAMAGED.

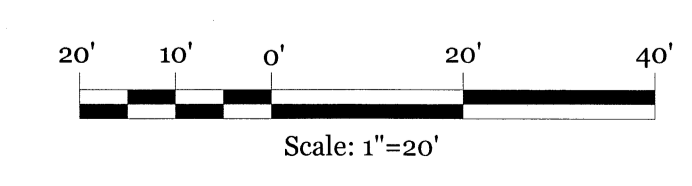
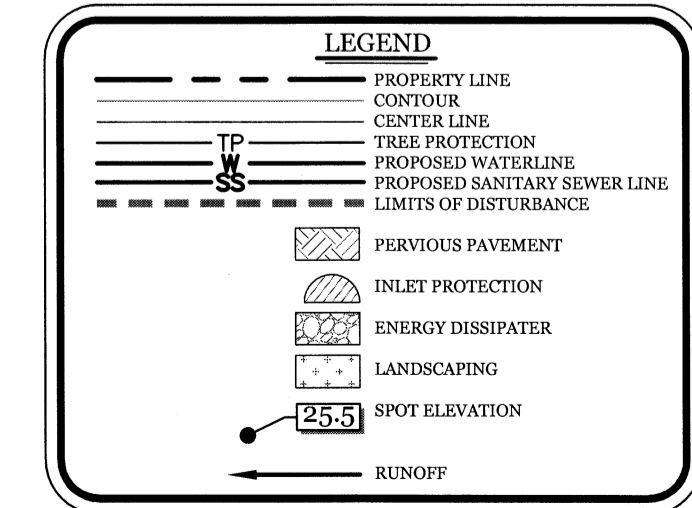
- SURVEY NOTES:**
- THE SURVEY INFORMATION SHOWN ON THIS PLAN IS FROM A FIELD SURVEY COMPLETED IN JUNE 2016 BY MICHAEL UNDERWOOD AND ASSOCIATES, PA.
 - NO SIGNIFICANT TREES EXIST ON SITE.
- DEVELOPMENT NOTES:**
- ALL DEVELOPMENT SHALL BE IN ACCORDANCE WITH CITY OF WILMINGTON ZONING ORDINANCE.
 - PROJECT SHALL COMPLY WITH ALL FEDERAL, STATE & NEW HAMPSHIRE COUNTY REGULATIONS.
 - PROPERTY IS LOCATED IN ZONE "X" ACCORDING TO THE FEMA FLOOD INSURANCE RATE MAP, 3720312700J COMMUNITY-PANEL NUMBER 3127, DATED 04/03/06

Approved Construction Plan

Name	Date
Planning	
Public Utilities	
Traffic	
Fire	

CITY OF WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division
 APPROVED STORMWATER MANAGEMENT PLAN

Date: _____ Permit # _____
 Signed: _____

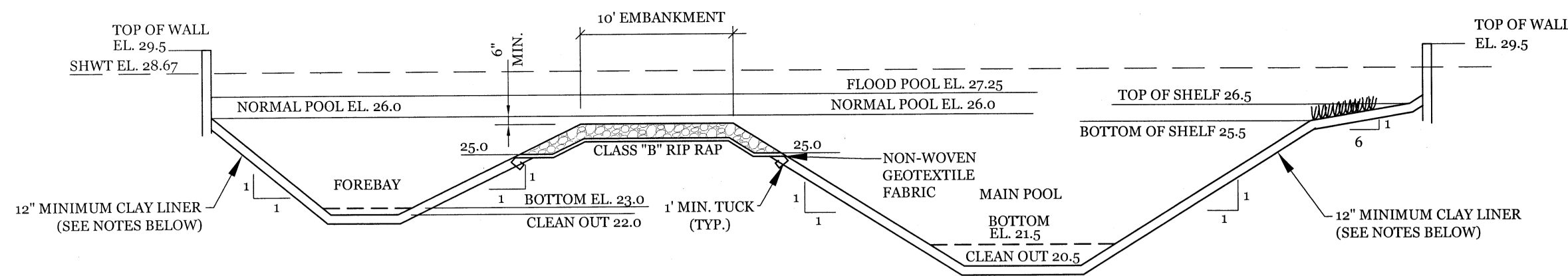


CLIENT INFORMATION:

M. M. FOWLER, INC.
 LEE BARNES
 4220 NEAL ROAD
 DURHAM, NC 27705
 919-309-2925 EXT. 215

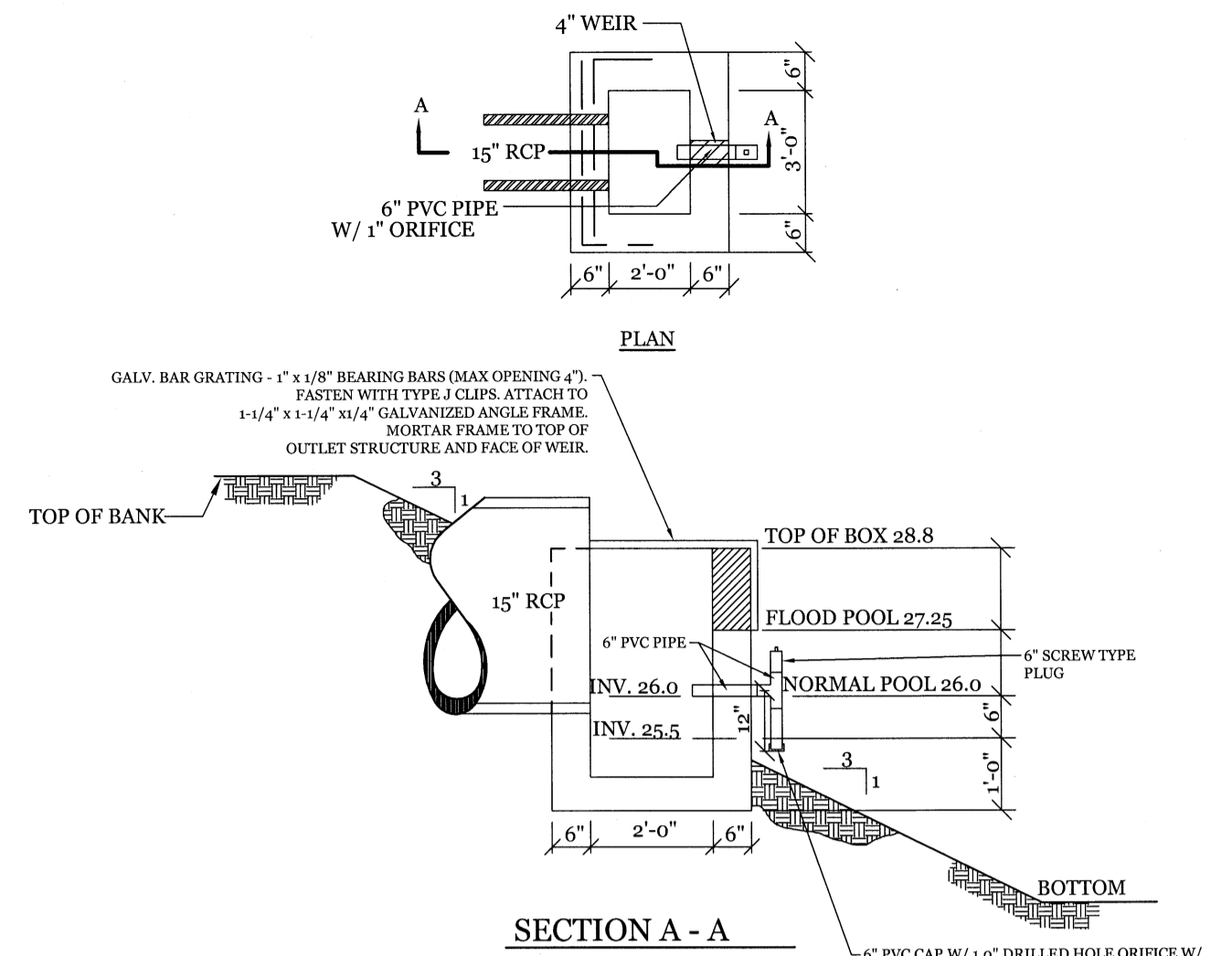
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 CHECKED: CDC DATE: 2/2/2017
 APPROVED: CDC SCALE: 1" = 20'
 PROJECT NUMBER: 2015-049

DRAWING NUMBER:
C-4 4 OF 9

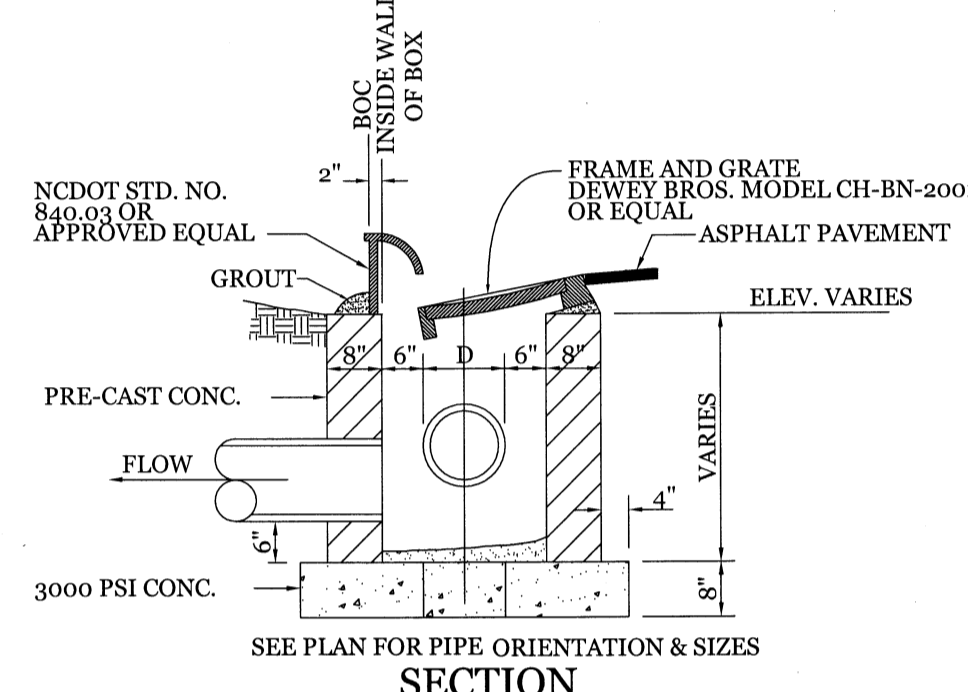
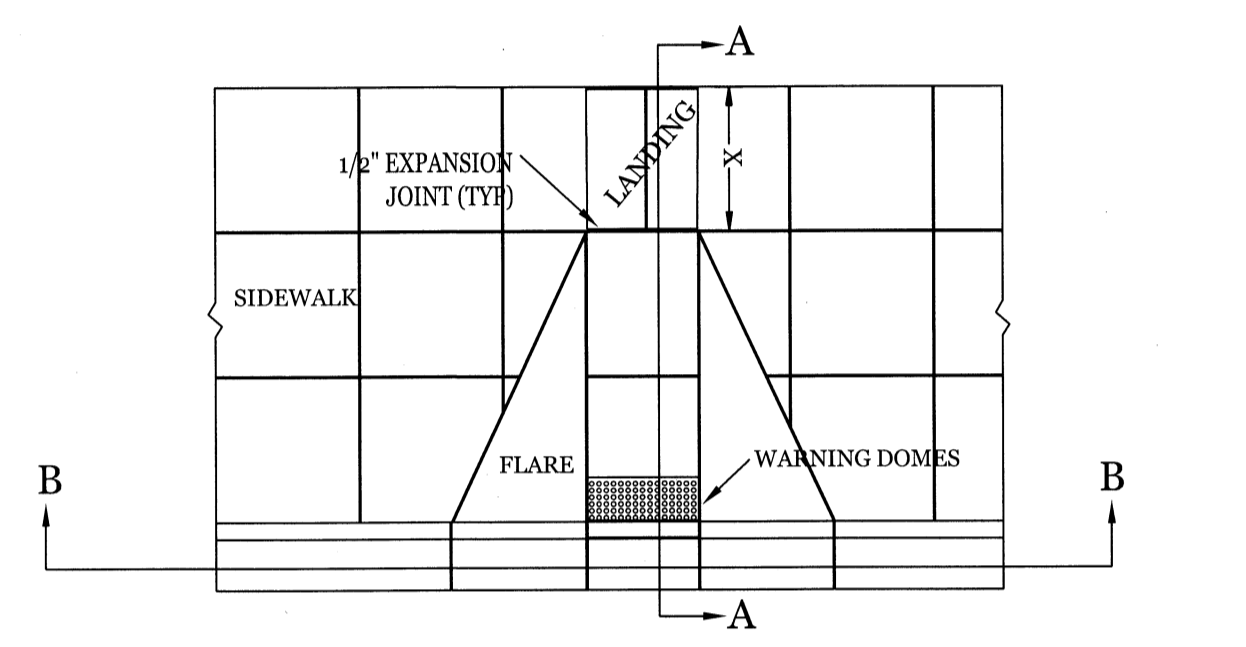


- PROVIDE A NATURAL POND LINER HAVING A MINIMUM THICKNESS OF ONE FOOT AND A HYDRAULIC CONDUCTIVITY NO GREATER THAN 1 X 10 CM/S WHEN COMPACTED. A SYNTHETIC LINER MAY BE SUBSTITUTED IF NO NATURAL MATERIALS ARE READILY AVAILABLE. A SYNTHETIC LINER SHALL BE OF A SUFFICIENT THICKNESS TO EXHIBIT STRUCTURAL INTEGRITY AND AN EFFECTIVE HYDRAULIC CONDUCTIVITY NO GREATER THAN THAT OF THE NATURAL MATERIAL LINER. (REF: 15A NCAC 02.0505)
- CONTRACTOR SHALL PROVIDE SOIL TESTING DATA THAT CONFIRMS HYDRAULIC CONDUCTIVITY REQUIREMENTS HAVE BEEN ADHERED TO.
- CONTRACTOR SHOULD NOTE THAT OVER EXCAVATION OF BASIN IS REQUIRED TO INSTALL THE SPECIFIED LINER. OVER EXCAVATION WILL BE A MINIMUM OF 2'.
- ADDITIONAL EXCAVATION AND ANY INCREASE IN LINER THICKNESS MAY BE REQUIRED AS SPECIFIED BY AFOREMENTIONED GEOTECHNICAL TESTING AGENCY.
- IF A SYNTHETIC LINER IS TO BE USED, AN AKWASEL GEOSYNTHETIC CLAY LINER (GCL) IS PREFERRED. IN ORDER TO INSTALL AN ALTERNATIVE SYNTHETIC LINER, CONTRACTOR MUST SUBMIT A PACKAGE FOR REVIEW BY INTRACOASTAL ENGINEERING AND NC DENR PRIOR TO CONSTRUCTION.
- IN REFERENCE TO SYNTHETIC OR GEOSYNTHETIC CLAY LINER (GCL), THE CONSULTANT MUST OBSERVE THE INSTALLATION OF THE LINER AND CERTIFY THAT IT HAS BEEN PROPERLY INSTALLED.
- THE CLAY LINER MAY NOT BE REQUIRED DEPENDING ON WATER TABLE CONDITIONS FOUND AT TIME OF EXCAVATION. CONTRACTOR WILL NEED TO CONSULT WITH A CERTIFIED SOIL SCIENTIST FOR APPROVAL TO ELIMINATE THE NEED FOR A CLAY LINER.
- POND SLOPE TO BE SEEDED IN ACCORDANCE TO SEEDING SPECIFICATIONS.
- 6:1 VEGETATED SHELVE TO BE PLANTED WITH WETLAND SPECIES I.E. PICKEREL WEEED, DUCK POTATO, SWAMP ROSE, BLUE FLAG, & CARDINAL FLOWER. (OR ENGINEER APPROVED ALTERNATIVE)
- VEGETATED SHELVE SHALL BE PLANTED WITH PLUGS OR POTS AT 24" O.C. IN A CHECKERBOARD PATTERN.
- VEGETATED SHELVE PLANTING SHALL NOT BE PLANTED WITHIN 10' OF THE OUTLET STRUCTURES.
- A PUMP WILL BE PROVIDED TO DRAIN THE BASIN FOR MAINTENANCE AND EMERGENCIES

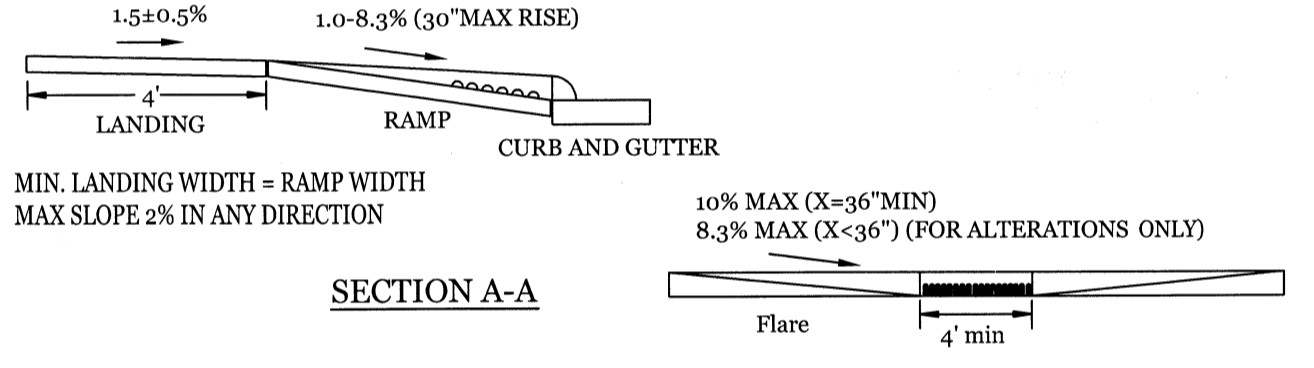
DETENTION POND & FOREBAY SECTION
NTS



DETENTION POND OUTLET STRUCTURE
NTS

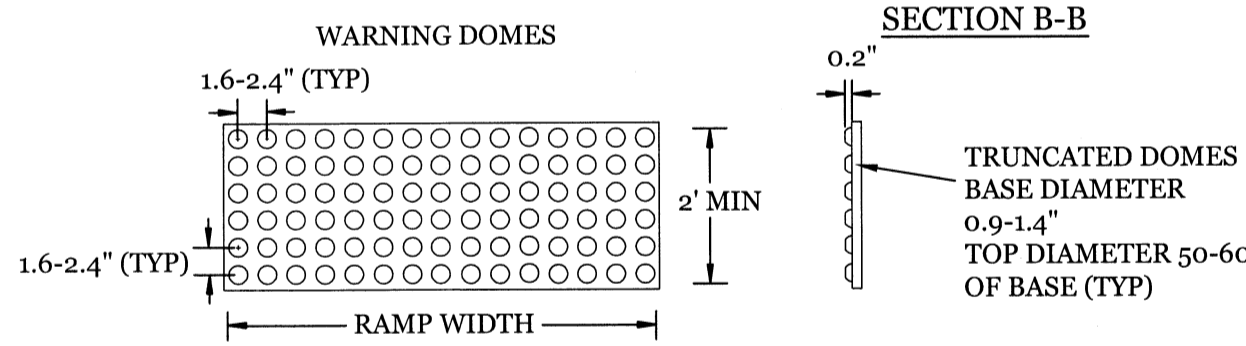


CURB INLET DETAIL
NTS



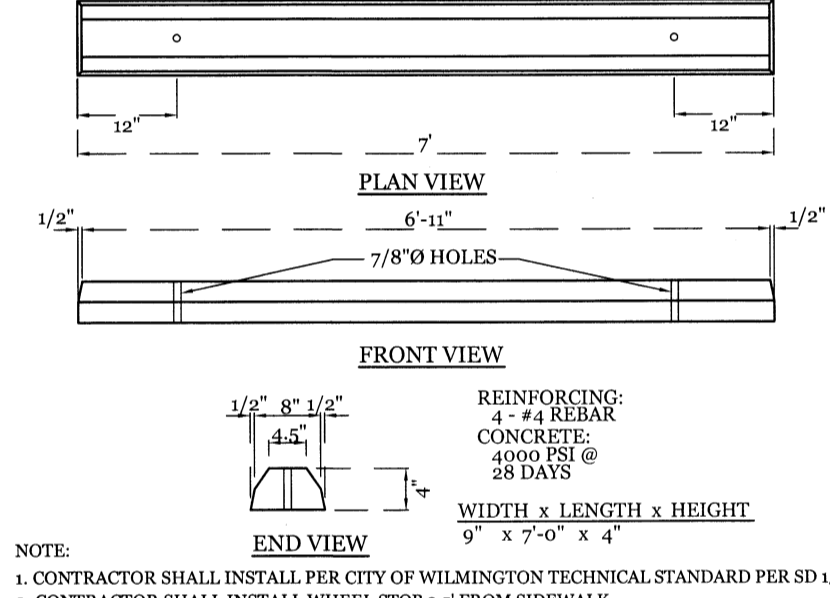
SECTION A-A

SECTION B-B



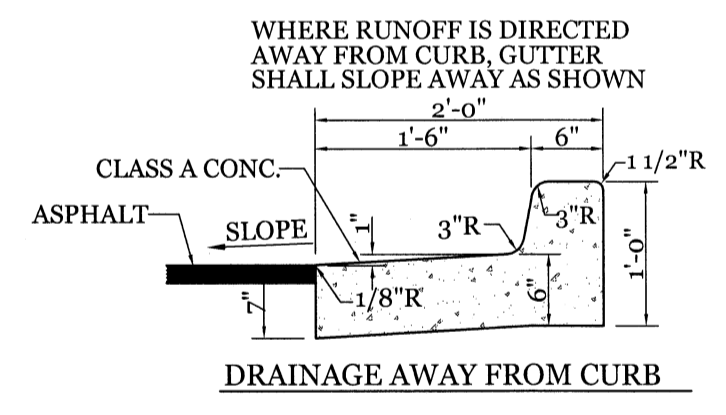
- WARNING DOME NOTES:
1. USE CONTRASTING COLORS, RED OR BLACK ON WHITE PAVEMENT.
 2. USE CAST IN PLACE PAVERS FOR NEW CONSTRUCTION.
 3. RUBBER MATS ARE PERMITTED FOR RETROFITS.
 4. LANDING AND RAMP WIDTH MAY BE REDUCED TO 3' WHERE SPACE IS LIMITED AND DESIGN IS APPROVED BY THE CITY ENGINEER.

WHEEL CHAIR RAMP DETAIL
NTS

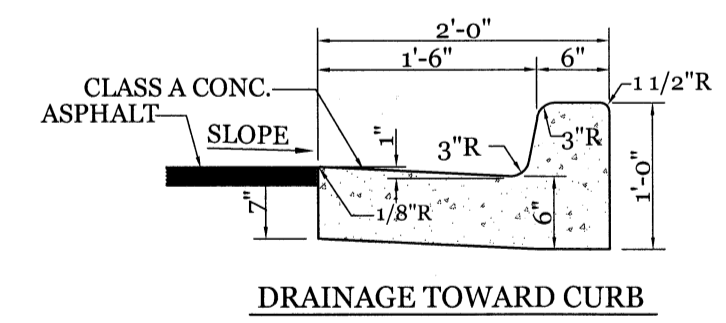


WHEEL STOP DETAIL
NTS

- NOTE:
1. CONTRACTOR SHALL INSTALL PER CITY OF WILMINGTON TECHNICAL STANDARD PER SD 15-13
 2. CONTRACTOR SHALL INSTALL WHEEL STOP 2' FROM SIDEWALK.

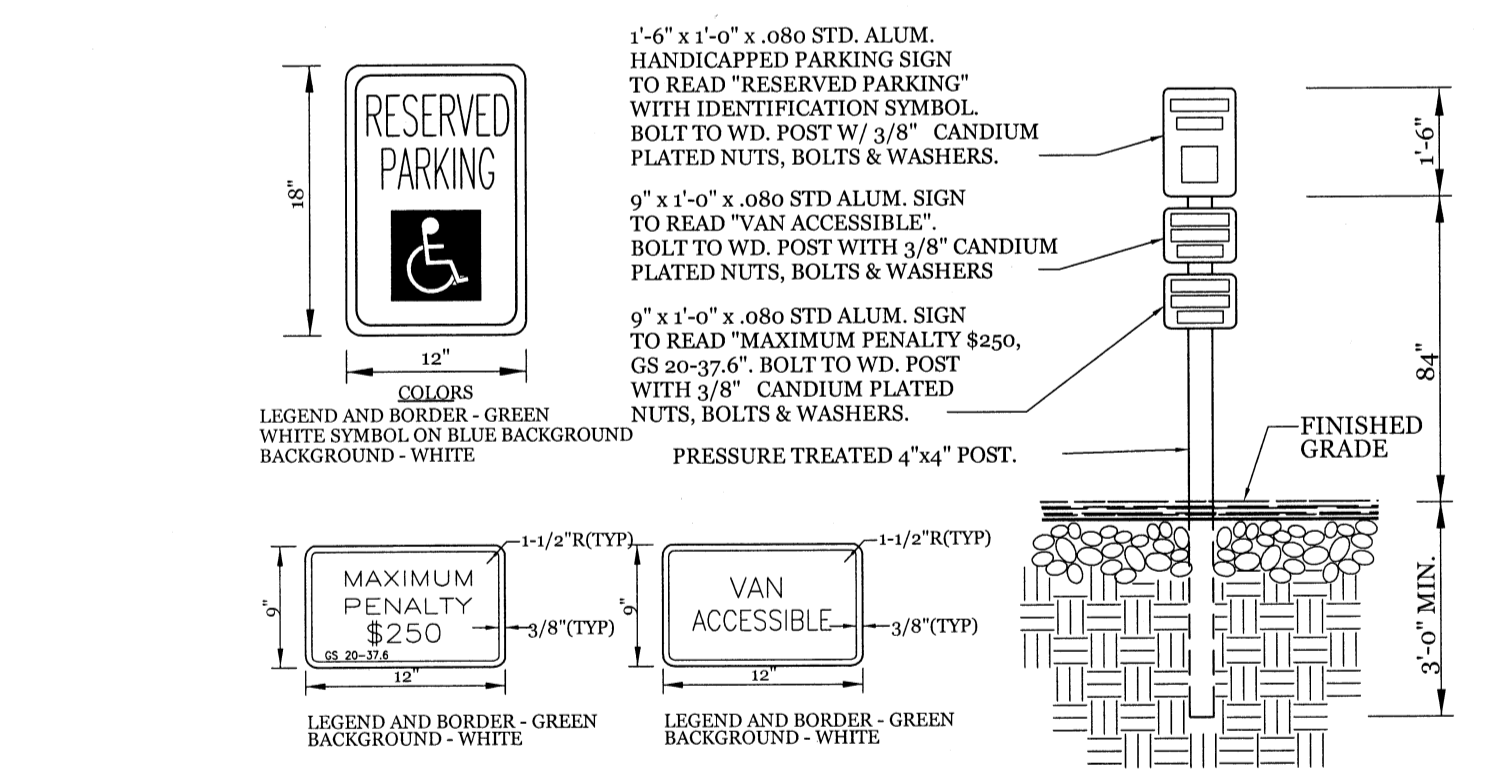


DRAINAGE AWAY FROM CURB

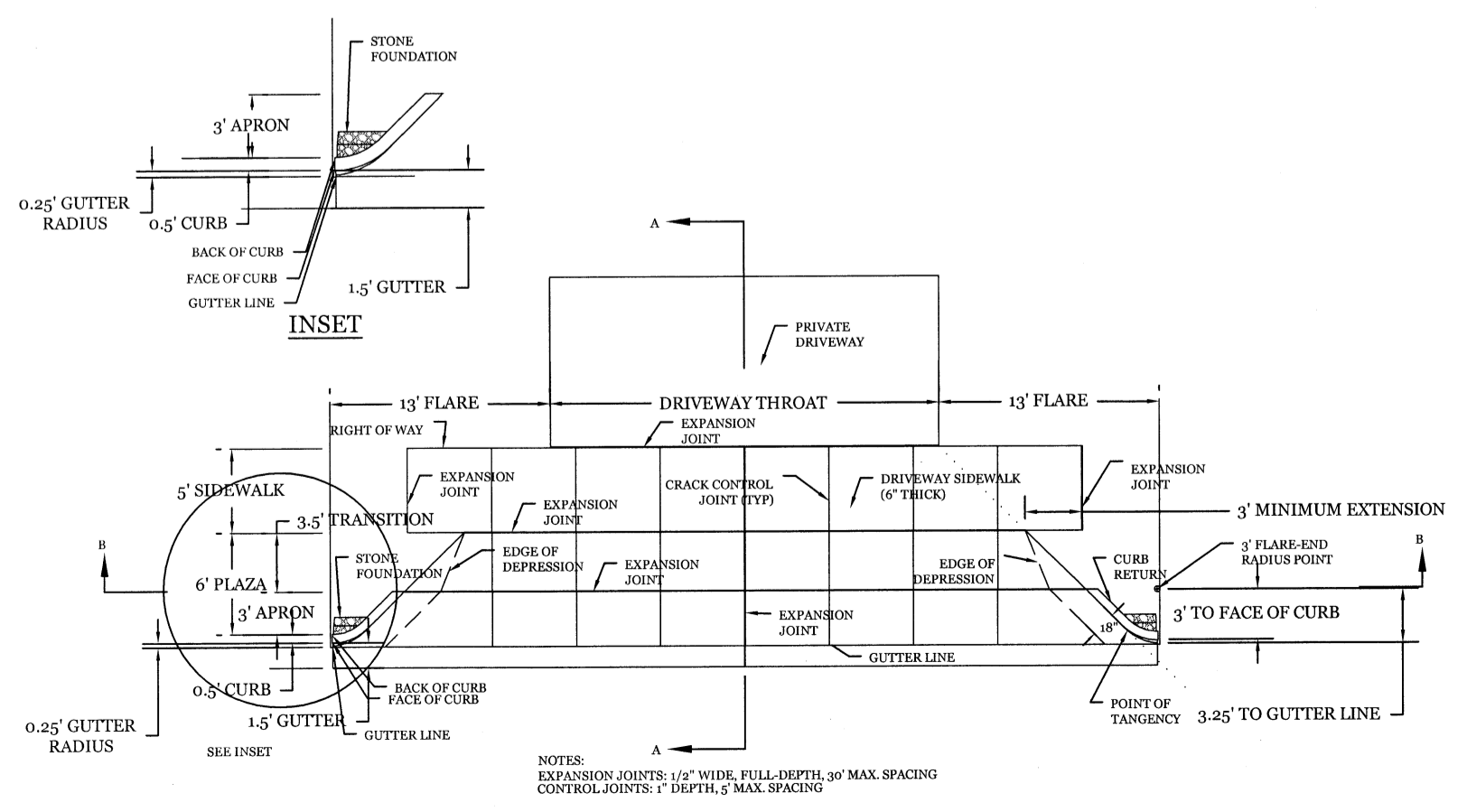


DRAINAGE TOWARD CURB

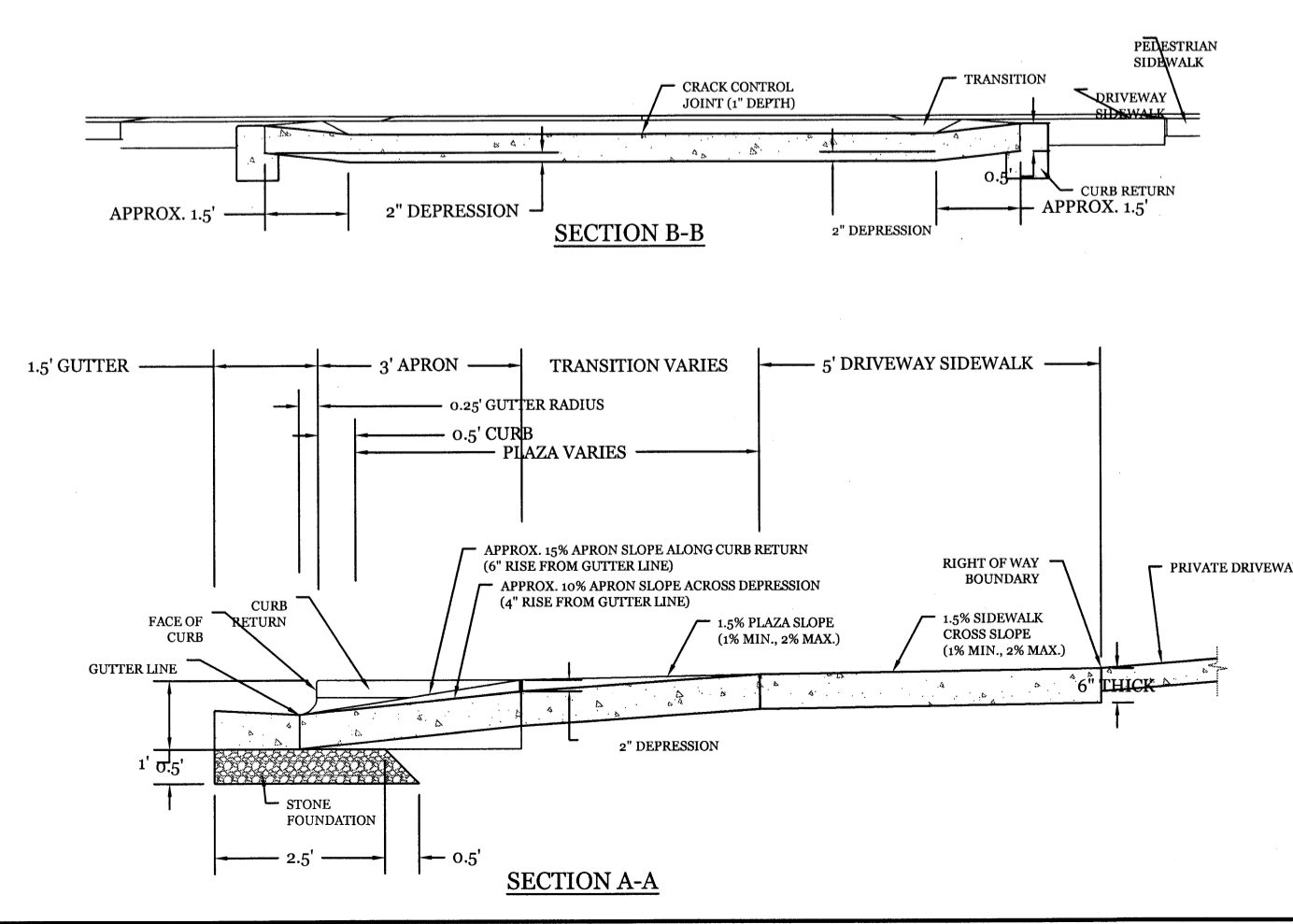
24" CURB SECTION
NTS



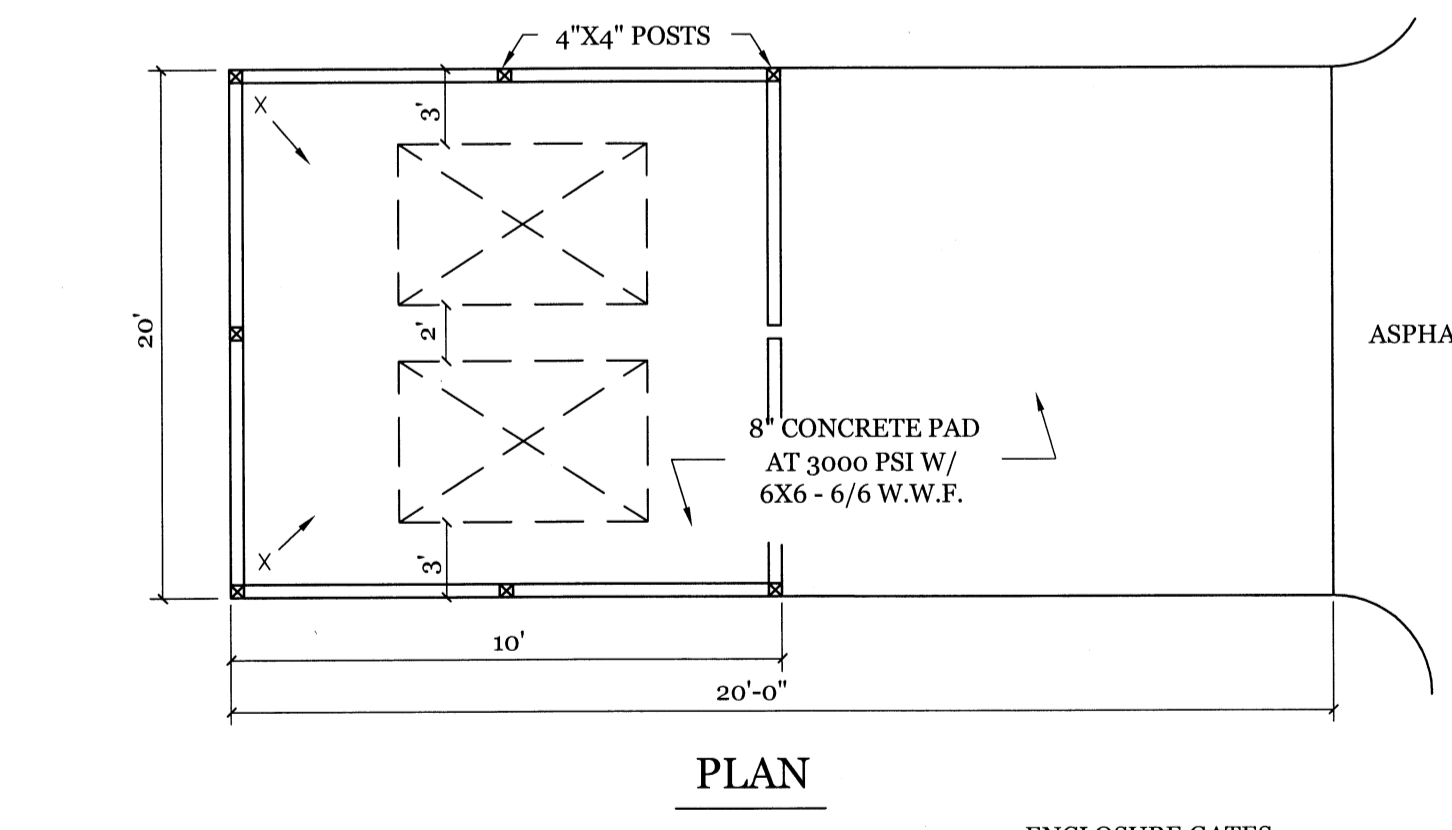
TYPICAL HANDICAPPED SIGN DETAIL
NTS



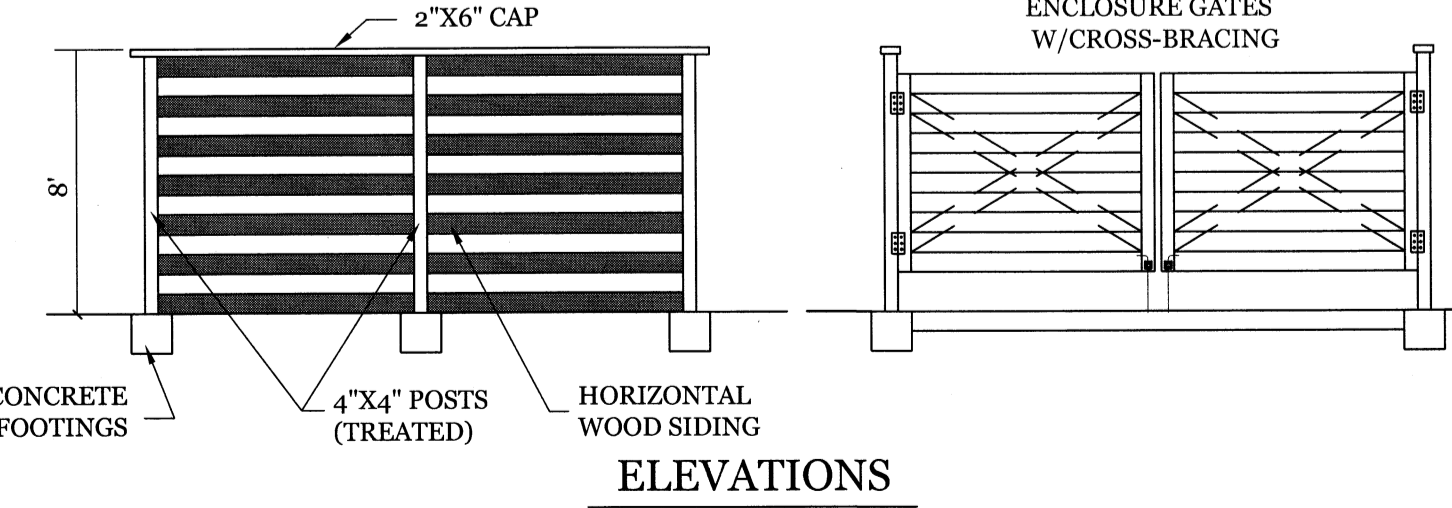
COMMERCIAL DRIVEWAY
NTS



SECTION A-A



PLAN

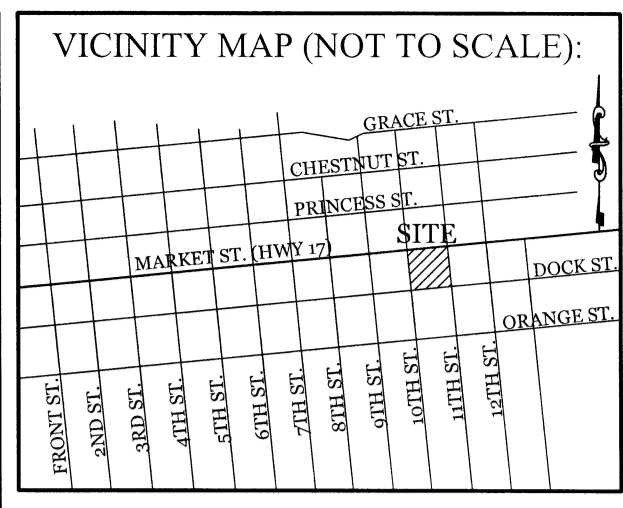


ELEVATIONS

DUMPSTER PAD & ENCLOSURE DETAIL
NTS

SITE WORK NOTES:

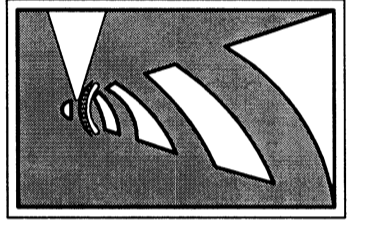
1. THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS BOTH ON AND ADJACENT TO THE SITE.
2. CLEARING: CONTRACTOR SHALL REMOVE ALL TREES AND VEGETATION WITHIN LIMITS OF CONSTRUCTION UNLESS OTHERWISE DESIGNATED TO REMAIN.
3. GRUBBING AND STRIPPING: CONTRACTOR SHALL RAKE AND REMOVE ROOTS, STUMPS, VEGETATION, DEBRIS, EXISTING STRUCTURES ABOVE AND BELOW GRADE, ORGANIC MATERIAL OR ANY OTHER UNSUITABLE MATERIAL WITHIN LIMITS OF CONSTRUCTION.
4. MUCKING: CONTRACTOR SHALL COORDINATE WITH OWNER AND THEIR GEOTECHNICAL REPRESENTATIVE TO COORDINATE REMOVAL OF ANY SOFT AREAS.
5. DISPOSAL: CLEARED, GRUBBED, STRIPPED OR OTHER WASTE MATERIAL SHALL BE REMOVED FROM SITE AND DISPOSED OF IN A PROPERLY PERMITTED FACILITY.
6. FILL AND COMPACTION SHOULD COMPLY WITH GEOTECHNICAL RECOMMENDATIONS.
7. THE CONTRACTOR SHALL NOTE THAT THE GRADING PLAN MAY NOT REPRESENT A BALANCED EARTHWORK CONDITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CUT AND FILL QUANTITIES AND COMPLETE INSTALLATION TO SPECIFIED GRADES.
8. THE CONTRACTOR SHALL FURNISH SUITABLE BORROW MATERIAL FROM AN OFF-SITE PROPERLY PERMITTED FACILITY AS REQUIRED.
9. INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXACT ELEVATIONS AND LOCATIONS OF ALL EXISTING UTILITIES AT ALL CROSSINGS PRIOR TO COMMENCING TRENCH EXCAVATION. IF ACTUAL CLEARANCES ARE LESS THAN INDICATED ON PLAN, THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION. ANY CONDITION DISCOVERED OR EXISTING THAT WOULD NECESSITATE A MODIFICATION OF THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION.
10. NO CONSTRUCTION IS TO BEGIN BEFORE LOCATION OF EXISTING UTILITIES HAS BEEN DETERMINED. CALL "NO ONE-CALL" AT LEAST 48 HOURS BEFORE COMMENCING CONSTRUCTION.
11. THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES DURING CONSTRUCTION. BEFORE COMMENCING ANY EXCAVATIONS IN OR ALONG ROADWAYS OR RIGHT-OF-WAYS, PUBLIC AREAS OR IN PRIVATE EASEMENTS, THE CONTRACTOR SHALL NOTIFY ALL APPROPRIATE PERSONNEL OF THEIR INTENT TO EXCAVATE, IN WRITING, NOT LESS THAN 10 DAYS PRIOR TO EXCAVATING.
12. THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE DISCONNECTION/ RECONNECTION AND/OR THE RELOCATION OF ALL EXISTING UTILITIES WITH APPROPRIATE PERSONNEL.
13. CONTRACTOR SHALL ADJUST ALL MANHOLES, VALVE & CURB BOXES TO FINAL GRADE UPON COMPLETION OF ALL CONSTRUCTION. ANY BOXES DAMAGED OR OTHERWISE DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.
14. EXISTING SURVEYING PERFORMED BY MICHAEL UNDERWOOD, PLS
15. THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AT THE SITE. FURTHERMORE THE CONTRACTOR SHALL REPORT ALL DISCREPANCIES OR QUESTIONS TO THE ENGINEER PRIOR TO INSTALLATION.
16. THE CONTRACTOR SHALL PROVIDE ANY AND ALL LAYOUT REQUIRED TO CONSTRUCT HIS WORK UNLESS OTHERWISE DIRECTED BY OWNER.
17. ALL SERVICE CONNECTIONS SHALL BE INSTALLED TO MEET ALL LOCAL, STATE, AND CPWA CODES. METERS, TAPS, MATERIALS, WORKMANSHIP AND ALL FEES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL COMPLY WITH ALL REQUIREMENTS.
18. ALL BACKFILL FROM UTILITY INSTALLATION MUST BE COMPACTED OR AMENDED TO PROVIDE TRAFFIC BEARING CAPACITY. GEOTECHNICAL ENGINEER TO BE CONSULTED AT CONTRACTORS COST AS NECESSARY.
19. ALL AREAS SHALL BE GRADED FOR POSITIVE DRAINAGE. CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO INSTALLATION. ALL AREAS SHALL BE SLOPED TO DRAIN AWAY FROM BUILDINGS AT ALL TIMES.
20. CONCRETE FOR WALKS, CURBS AND DRIVES SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS - AIR ENTRAINED.
21. FIELD TESTING SHALL BE DONE BY AN INDEPENDENT TESTING LABORATORY PAID FOR BY THE OWNER. FURTHER TESTING REQUIRED DUE TO A FAILED TEST WILL BE PAID FOR BY THE CONTRACTOR.
22. ALL SIDEWALKS SHALL BE FREE OF CRACKS, BREAKS, OR ANY OTHER DEFECT PRIOR TO RECEIVING A CERTIFICATE OF OCCUPANCY.



REVISIONS

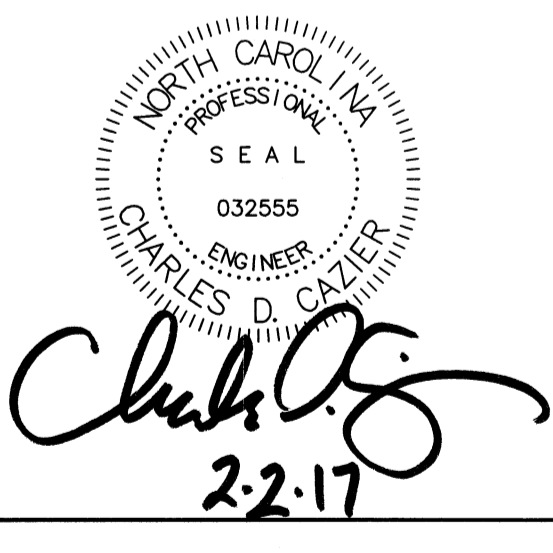
NO.	DESCRIPTION

INTRACOASTAL ENGINEERING, PLLC
5725 Olander Dr., Unit E-7
Wilmington, North Carolina 28403
Phone: (910) 859-8983
Email: charlie@intracoastalengineering.com
License Number P-0662



DETAILS

FOR
FAMILY FARE
MARKET ST.
WILMINGTON, NC



STORMWATER MANAGEMENT PLAN APPROVED
CITY OF WILMINGTON
ENGINEERING DEPARTMENT
DATE _____ PERMIT # _____
SIGNED _____

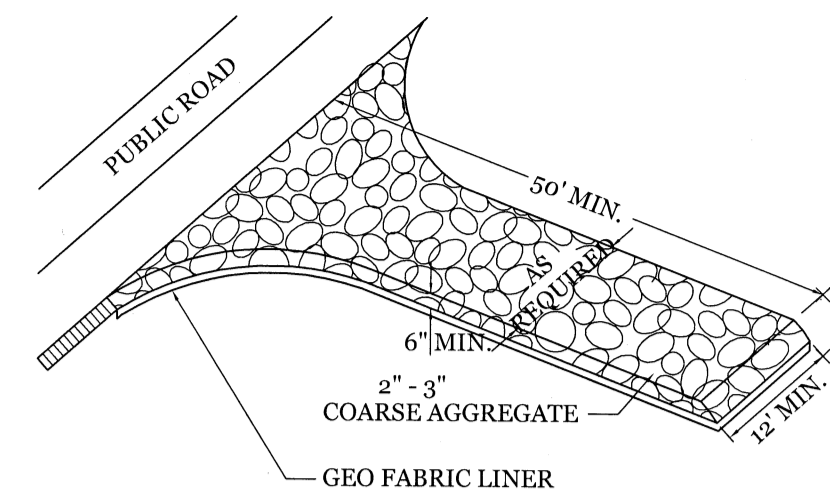
Approved Construction Plan

Name	Date
Planning _____	_____
Public Utilities _____	_____
Traffic _____	_____
Fire _____	_____

CLIENT INFORMATION:
M. M. FOWLER, INC.
LEE BARNES
4220 NEAL ROAD
DURHAM, NC 27705
919-309-2925 EXT. 215

DRAWN: BFD SHEET SIZE: 24 x 36
CHECKED: CDC DATE: 2/2/2017
APPROVED: CDC SCALE: NTS
PROJECT NUMBER: 2015-049

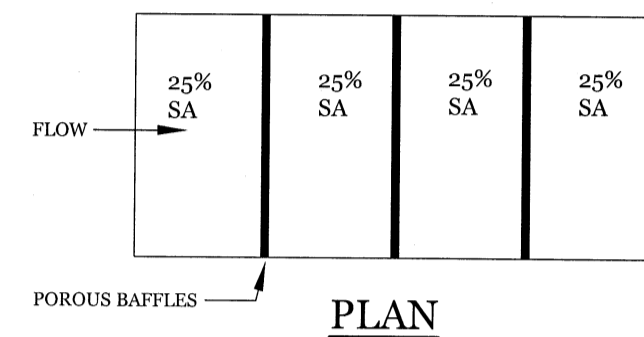
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C-5 5 OF 9



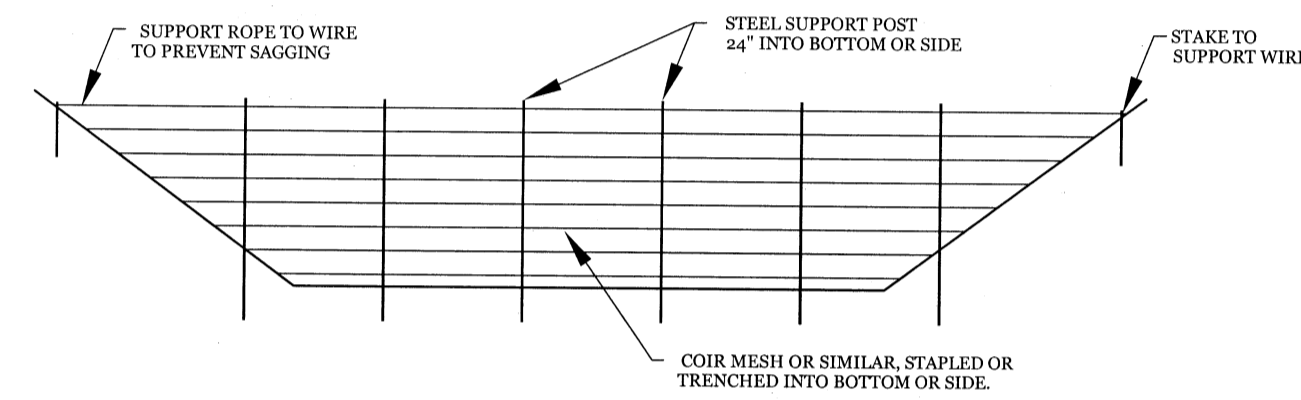
NOTE:
CONSTRUCTION ENTRANCE TO BE 12' OR ENTIRE WIDTH OF ENTRANCE, WHICHEVER IS GREATER.

TEMPORARY GRAVEL CONSTRUCTION ENTRANCE

NTS



PLAN

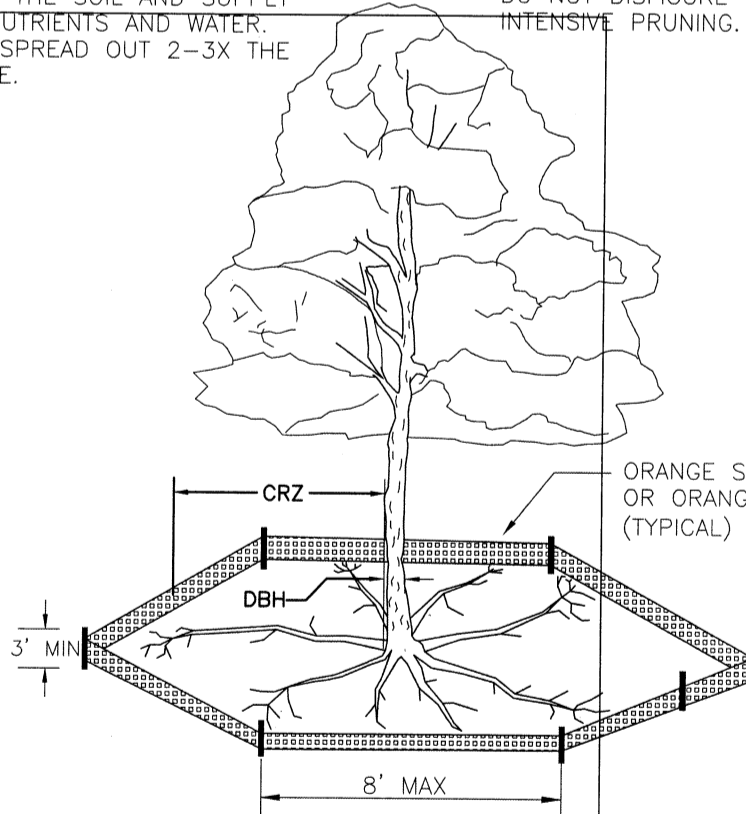


CROSS SECTION

POROUS BAFFLE DETAIL

NTS

NOTE: THE CRITICAL ROOT ZONE (CRZ) OF A TREE IS WHERE THE MAJORITY OF A TREE'S ROOTS LAY. 85% OF MOST TREE ROOTS ARE FOUND IN THE TOP 24" OF THE SOIL AND SUPPLY THE MAJORITY OF NUTRIENTS AND WATER. GENERALLY, ROOTS SPREAD OUT 2-3X THE HEIGHT OF THE TREE.



NOTE: CROWN OF THE TREE IS NEEDED FOR LEAF GROWTH TO PRODUCE OXYGEN, FILTER THE AIR, REDUCE WIND AND SOFTEN NOISE. DO NOT DISFIGURE CROWN WITH INTENSIVE PRUNING.

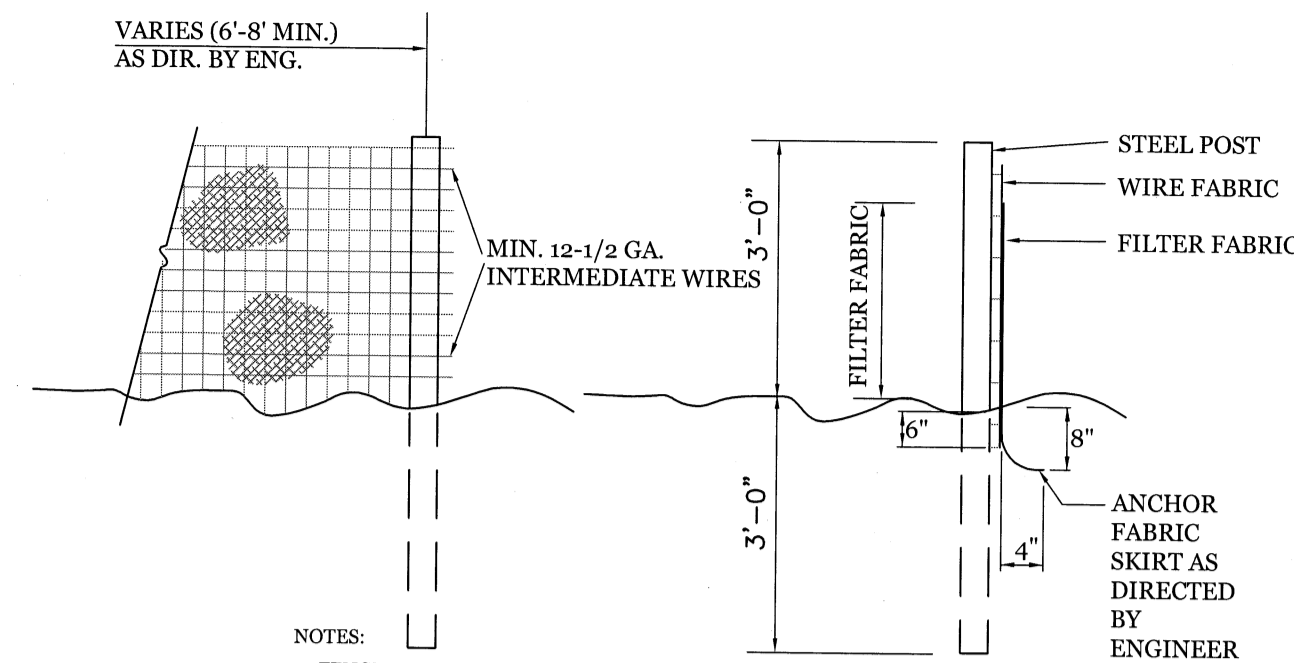
ORANGE SAFETY FENCE OR ORANGE SILT FENCE (TYPICAL)

- NOTES:
1. PROTECT CRITICAL ROOT ZONE (CRZ) OF TREES PRIOR TO CONSTRUCTION. CLEARLY MARK THE TREES AND ERECT A PROTECTIVE BARRIER AT THE CRZ. BARRIER SHALL BE MAINTAINED UNTIL CONSTRUCTION IS COMPLETE.
 2. CRZ RADIUS IS 1 FT PER INCH OF TREE DIAMETER AT BREAST HEIGHT (DBH).
 3. IF CONSTRUCTION OCCURS WITHIN THE CRZ, AT LEAST 12" OF MULCH AND/OR LOGGING MATS SHALL BE PLACED WHERE MACHINERY MANEUVERS TO REDUCE SOIL COMPACTION IN THIS ZONE.
 4. WHERE SIDEWALKS AND PATHWAYS PASS WITHIN CRZ, EXTRA CARE SHALL BE TAKEN TO AVOID DAMAGE TO THE ROOTS. ALTERNATE CONSTRUCTION METHODS, SUCH AS A REINFORCED SIDEWALK, SHALL BE IMPLEMENTED AS NECESSARY.
 5. FOR ALL TREES, CUTTING OF LARGE STRUCTURAL ROOTS LOCATED NEAR THE BASE OF THE TRUNK IS PROHIBITED. DO NOT COMPACT SOIL BENEATH TREES. NO VEHICLE SHALL BE ALLOWED TO PARK UNDER TREES. NO MATERIALS OR EQUIPMENT SHALL BE STORED BENEATH TREES. DAMAGING THE BARK WITH LAWNMOWERS, CONSTRUCTION EQUIPMENT, OR ANYTHING ELSE IS PROHIBITED. CONTRACTOR SHALL REPAIR DAMAGE TO TREES.
 6. FAILING TO INSTALL OR MAINTAIN PROTECTION MEASURES SHALL RESULT IN A STOP WORK ORDER AND FINE OF \$500/DAY. DISTURBANCE OTHER THAN THAT ALLOWED ON THE APPROVED PLAN WILL REQUIRE OWNER TO POST A LETTER OF CREDIT FOR 3 YRS FOR TREE MITIGATION.

STANDARD DETAIL		<p>CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON, NC 28402 (910) 341-7807</p>
DATE:	JAN, 2015	
DRAWN BY:	JSR	
CHECKED BY:	RDG, P.E.	
SCALE:	NOT TO SCALE	SD 15-09

TREE PROTECTION DURING CONSTRUCTION

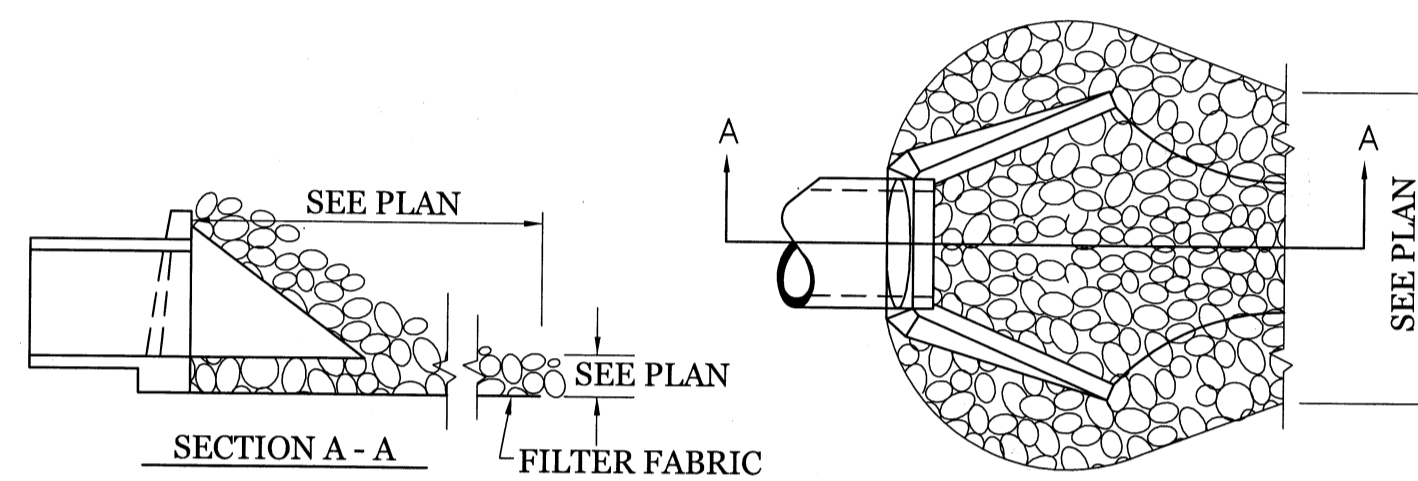
SHEET 1 of 2



- NOTES:
1. FENCE FABRIC SHALL BE A MIN. OF 36" IN WIDTH AND SHALL HAVE A MIN. OF SIX LINE WIRES WITH 12" STAY SPACING.
 2. FABRIC SHALL BE FOR EROSION CONTROL AND MIN. OF 36" IN WIDTH. FABRIC SHALL BE FASTENED ADEQUATELY TO THE WIRE FABRIC AS DIRECTED BY THE ENGINEER.
 3. STEEL POST SHALL BE 3'-0" IN HEIGHT AND BE OF THE SELF-FASTENER STEEL ANGLE TYPE.

TEMPORARY SILT FENCE

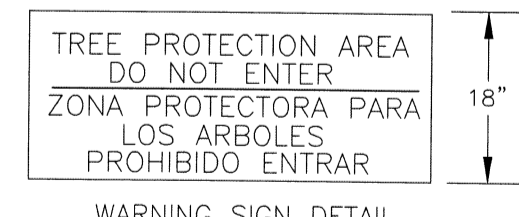
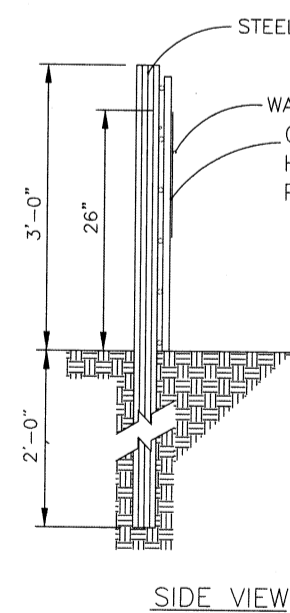
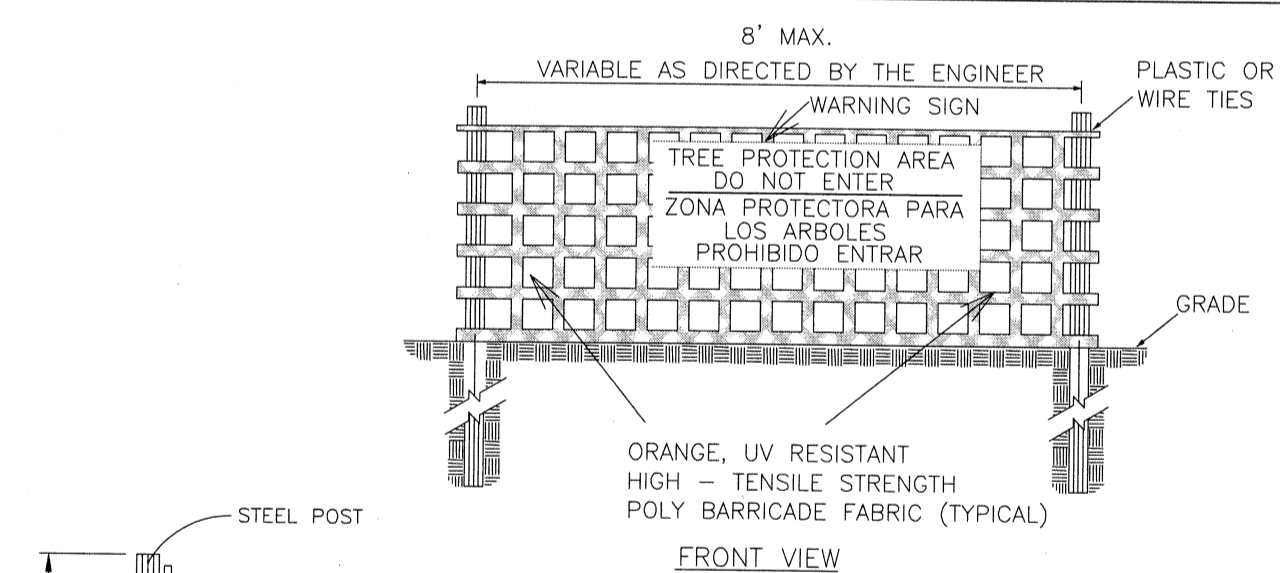
NTS



- NOTES:
1. CLASS "B" RIP RAP TO BE USED FOR ALL ENERGY DISSIPATOR AREAS.

ENERGY DISSIPATOR

NTS



- NOTES:
1. THE TREE PROTECTION FENCING SHALL NOT BE VIOLATED FOR THE ENTIRE DURATION OF THE PROJECT WITHOUT APPROVAL FROM URBAN FORESTRY STAFF.
 2. WARNING SIGNS TO BE MADE OF DURABLE, WEATHERPROOF MATERIAL. LETTERS TO BE 3" HIGH, MINIMUM, CLEARLY LEGIBLE AND SPACED AS DETAILED.
 3. SIGNS SHALL BE PLACED AT 50' MAXIMUM INTERVALS. PLACE A SIGN AT EACH END OF LINEAR TREE PROTECTION AND 50' ON CENTER THEREAFTER. FOR TREE PROTECTION AREAS LESS THAN 100' IN PERIMETER, PROVIDE NO LESS THAN TWO SIGNS PER PROTECTION AREA.
 4. ATTACH SIGNS SECURELY TO FENCE POSTS AND FABRIC. MAINTAIN TREE PROTECTION FENCE AND SIGNS THROUGHOUT DURATION OF PROJECT.
 5. TREE PROTECTION FENCING AND SIGNAGE SHALL BE REMOVED AFTER CONSTRUCTION.
 6. ADDITIONAL SIGNS MAY BE REQUIRED BY CITY OF WILMINGTON, BASED ON ACTUAL FIELD CONDITIONS.

STANDARD DETAIL		<p>CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON, NC 28402 (910) 341-7807</p>
DATE:	JAN, 2015	
DRAWN BY:	JSR	
CHECKED BY:	RDG, P.E.	
SCALE:	NOT TO SCALE	SD 15-09

TREE PROTECTION DURING CONSTRUCTION

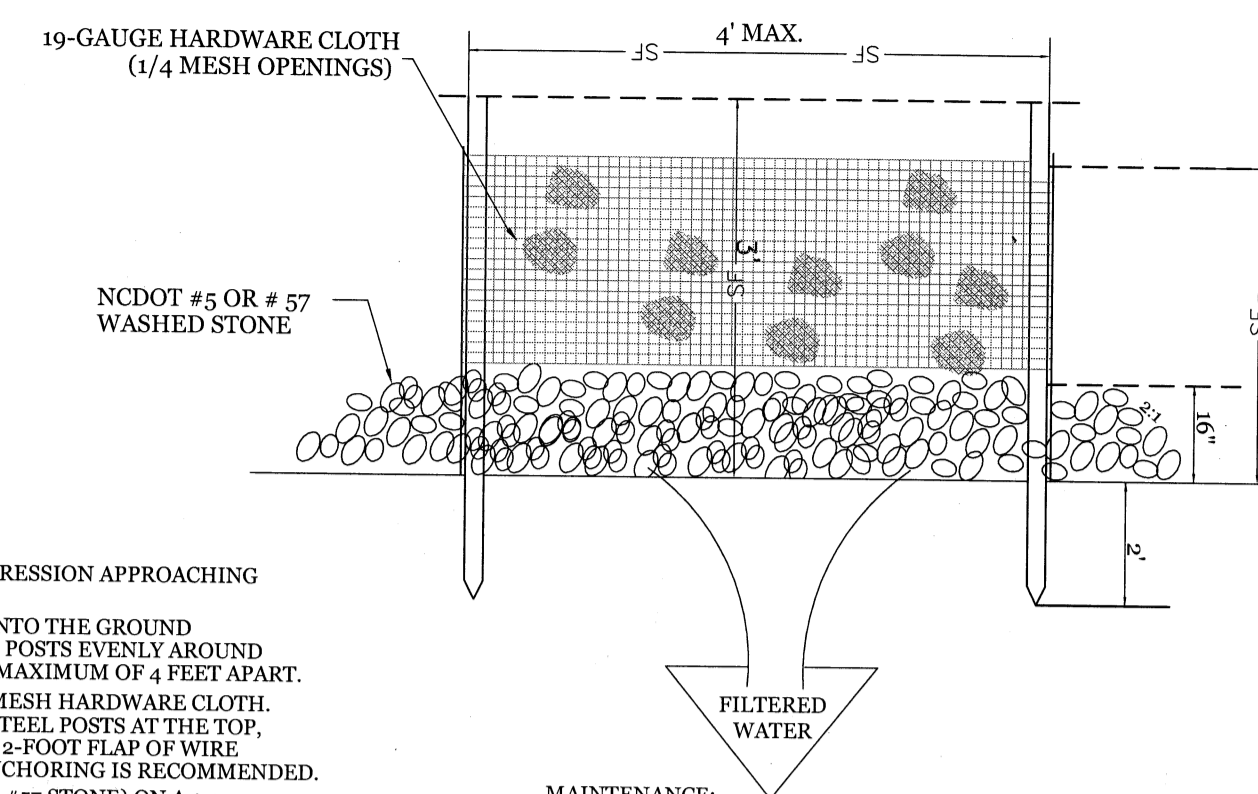
SHEET 2 of 2

CONSTRUCTION SPECIFICATIONS:

1. UNIFORMLY GRADE A SHALLOW DEPRESSION APPROACHING THE INLET.
2. DRIVE 5-FOOT STEEL POSTS 2 FEET INTO THE GROUND SURROUNDING THE INLET. SPACE POSTS EVENLY AROUND THE PERIMETER OF THE INLET, A MAXIMUM OF 4 FEET APART.
3. SURROUND THE POSTS WITH WIRE MESH HARDWARE CLOTH. SECURE THE WIRE MESH TO THE STEEL POSTS AT THE TOP, MIDDLE, AND BOTTOM. PLACING A 2-FOOT FLAP OF WIRE MESH UNDER THE GRAVEL FOR ANCHORING IS RECOMMENDED.
4. PLACE CLEAN GRAVEL (NCDOT #5 OR #57 STONE) ON A 2:1 SLOPE WITH A HEIGHT OF 16 INCHES AROUND THE WIRE, AND SMOOTH TO AN EVEN GRADE.
5. ONCE THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED, REMOVE ACCUMULATED SEDIMENT, AND ESTABLISH FINAL GRADING ELEVATIONS.
6. COMPACT THE AREA PROPERLY AND STABILIZED IT WITH GROUND COVER.

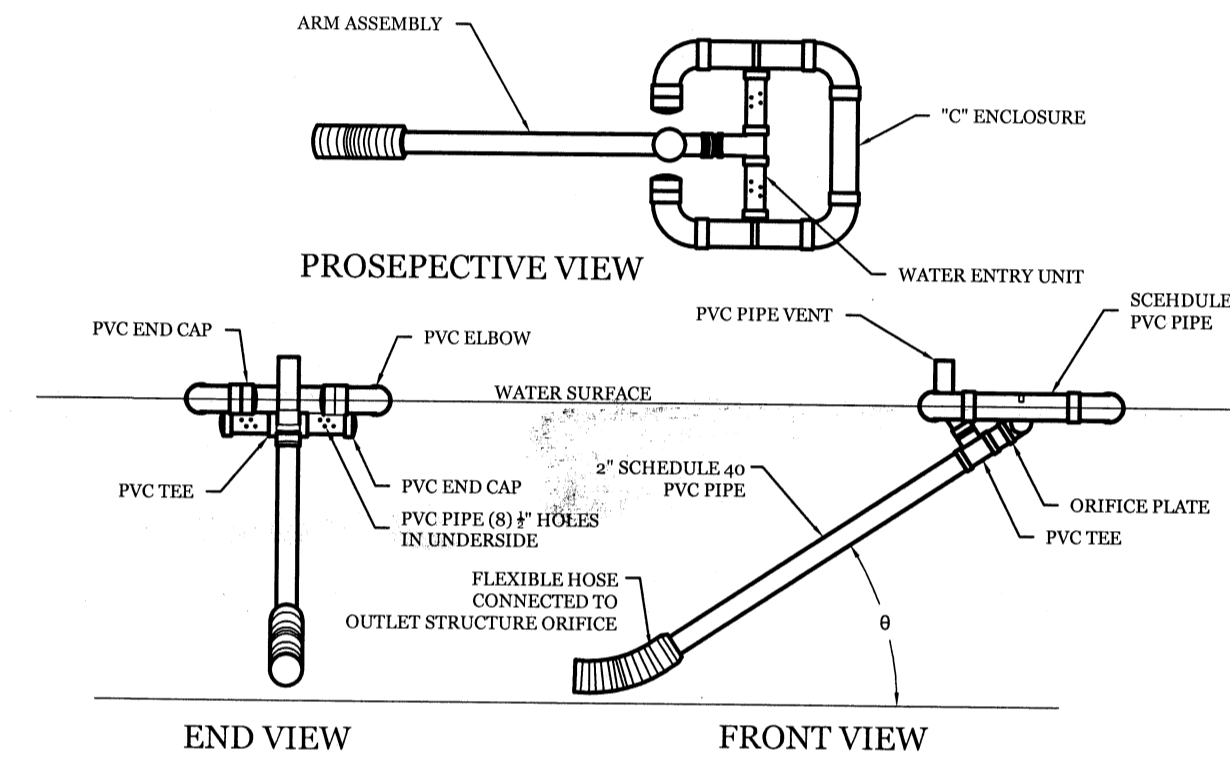
HARDWARE CLOTH AND GRAVEL INLET PROTECTION

NTS



FILTERED WATER

MAINTENANCE:
INSPECT INLETS AT LEAST WEEKLY AND AFTER EACH SIGNIFICANT (1/2 INCH OR GREATER) RAINFALL EVENT. CLEAR THE MESH WIRE OF ANY DEBRIS OR OTHER OBJECTS TO PROVIDE ADEQUATE FLOW FOR SUBSEQUENT RAINS. TAKE CARE NOT TO DAMAGE OR UNDERCUT THE WIRE MESH DURING SEDIMENT REMOVAL. REPLACE STONE AS NEEDED.



GENERAL NOTE:

1. SKIMMER TO BE USED IN WET PONDS AND REMOVED AFTER SITE IS PERMANENTLY STABLE.

MAINTENANCE:

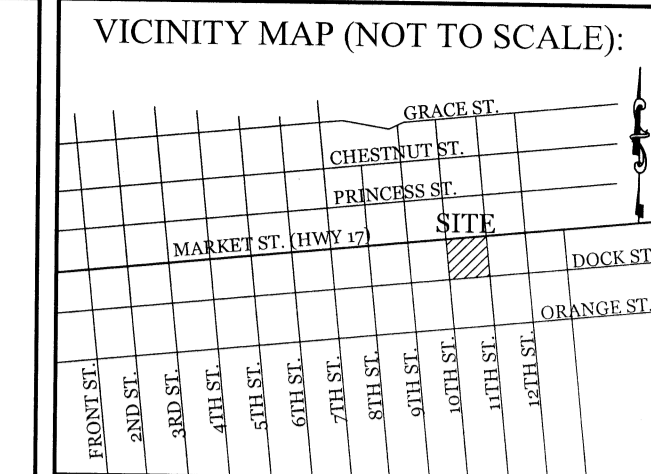
1. MAKE SURE THE SKIMMER IS FREE FLOATING AND NOT BEING HELD DOWN BY VEGETATION.
2. IF THE SKIMMER IS CLOGGED WITH TRASH AND THERE IS WATER IN THE BASIN, USUALLY JERKING ON THE ROPE WILL MAKE THE SKIMMER BOB UP AND DOWN AND DISLODGE THE DEBRIS AND RESTORE FLOW. IF THIS DOES NOT WORK, PULL THE SKIMMER OVER TO THE SIDE OF THE BASIN AND REMOVE THE DEBRIS. ALSO CHECK THE ORIFICE INSIDE THE SKIMMER TO SEE IF IT IS CLOGGED; IF SO REMOVE THE DEBRIS.
3. IF THE SKIMMER ARM OR BARREL PIPE IS CLOGGED, THE ORIFICE CAN BE REMOVED AND THE OBSTRUCTION CLEARED WITH A PLUMBER'S SNAKE OR BY FLUSHING WITH WATER. BE SURE AND REPLACE THE ORIFICE BEFORE REPOSITIONING THE SKIMMER.
4. FREEZING WEATHER CAN RESULT IN ICE FORMING IN THE BASIN. SOME SPECIAL PRECAUTIONS SHOULD BE TAKEN IN THE WINTER TO PREVENT THE SKIMMER FROM PLUGGING WITH ICE.

FAIRCLOTH SKIMMER DETAIL

NTS

STORMWATER MANAGEMENT PLAN
APPROVED
CITY OF WILMINGTON
ENGINEERING DEPARTMENT
DATE _____ PERMIT # _____
SIGNED _____

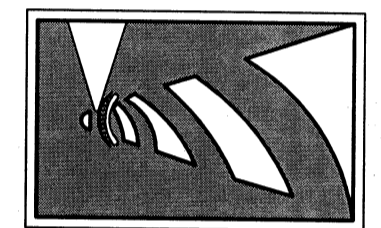
Approved Construction Plan		
Name	Date	
Planning		
Public Utilities		
Traffic		
Fire		



REVISIONS

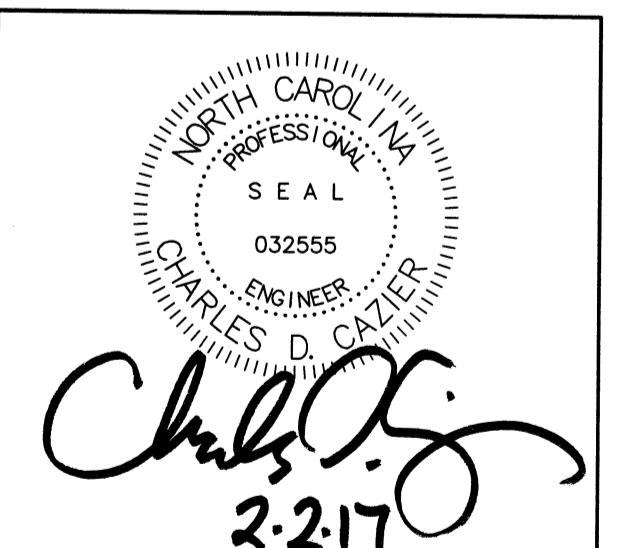
NO.	DATE	DESCRIPTION

INTRACOASTAL ENGINEERING, PLLC
5725 Oleander Dr. Unit E-7
Wilmington, North Carolina 28403
Phone: (910) 859-8983
Email: Charlie@intracoastalengineering.com
License Number P-0662



DETAILS

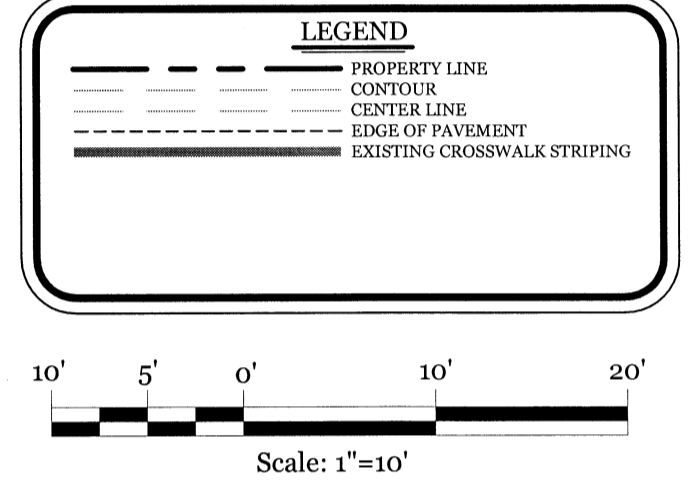
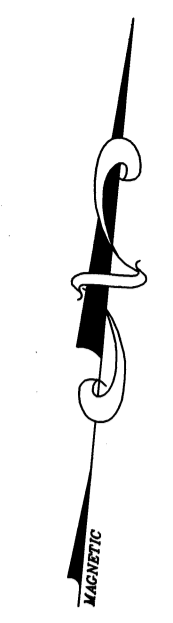
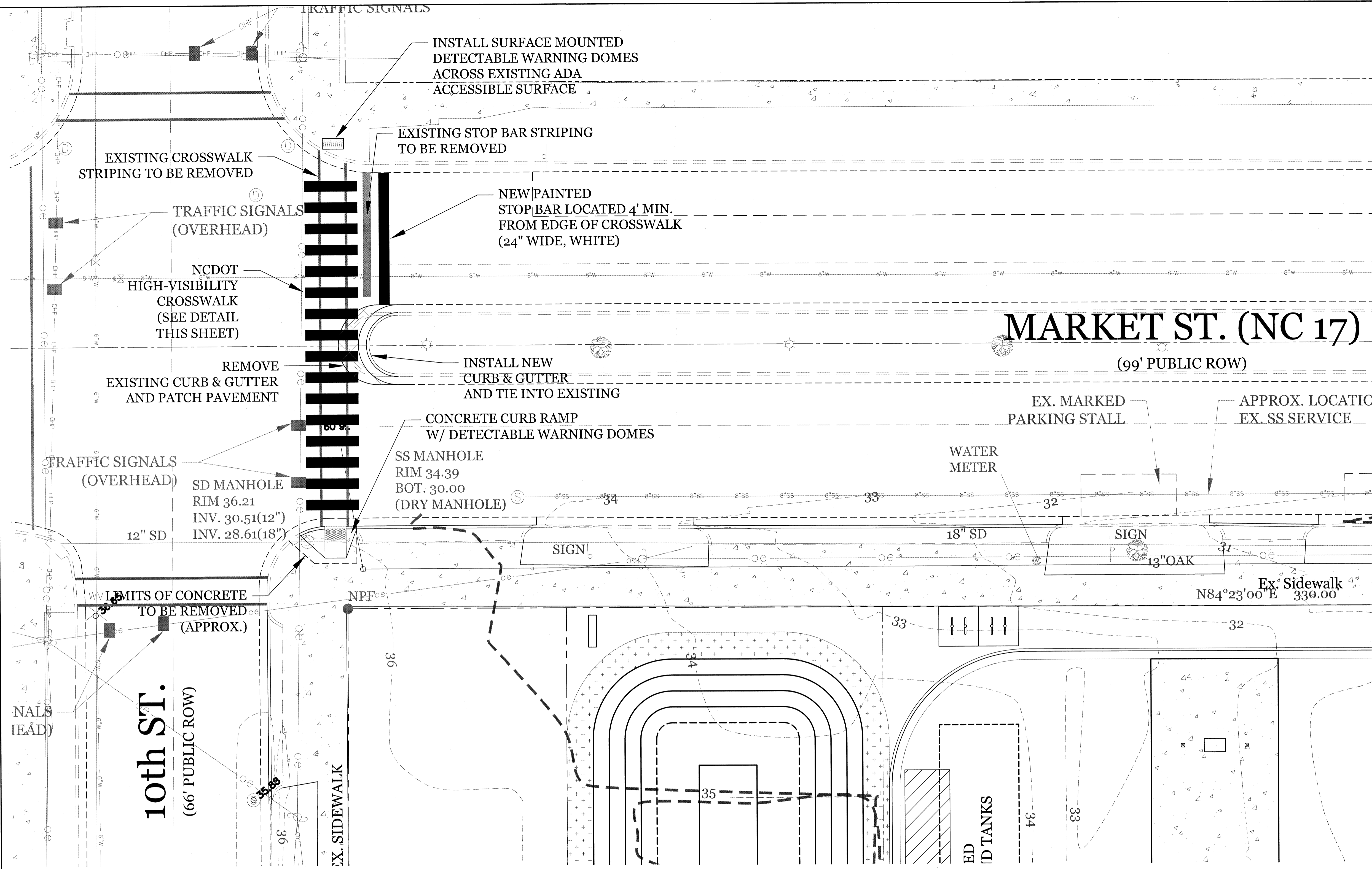
FOR
FAMILY FARE
MARKET ST.
WILMINGTON, NC



CLIENT INFORMATION:
M. M. FOWLER, INC.
LEE BARNES
4220 NEAL ROAD
DURHAM, NC 27705
919-309-2925 EXT. 215

DRAWN:	BFD	SHEET SIZE:	24 x 36
CHECKED:	CDC	DATE:	2/2/2017
APPROVED:	CDC	SCALE:	NTS
PROJECT NUMBER:	2015-049		

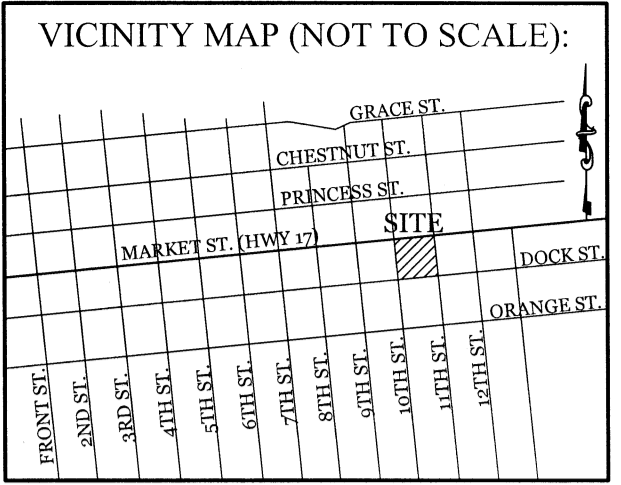
DRAWING NUMBER:
C-6



STORMWATER MANAGEMENT PLAN
APPROVED
CITY OF WILMINGTON
ENGINEERING DEPARTMENT
DATE _____ PERMIT # _____
SIGNED _____

Approved Construction Plan
Name _____ Date _____
Planning _____
Public Utilities _____
Traffic _____
Fire _____

NOTE: SEE TRAFFIC & PEDESTRIAN SIGNAL IMPROVEMENT PLANS BY DAVENPORT ENGINEERING.



REVISIONS

INTRACOASTAL ENGINEERING, PLLC
5725 Oleander Dr. Unit E-7
Wilmington, North Carolina 28403
Phone: (910) 859-8983
Email: Charlie@intracoastalengineering.com
License Number P-0662

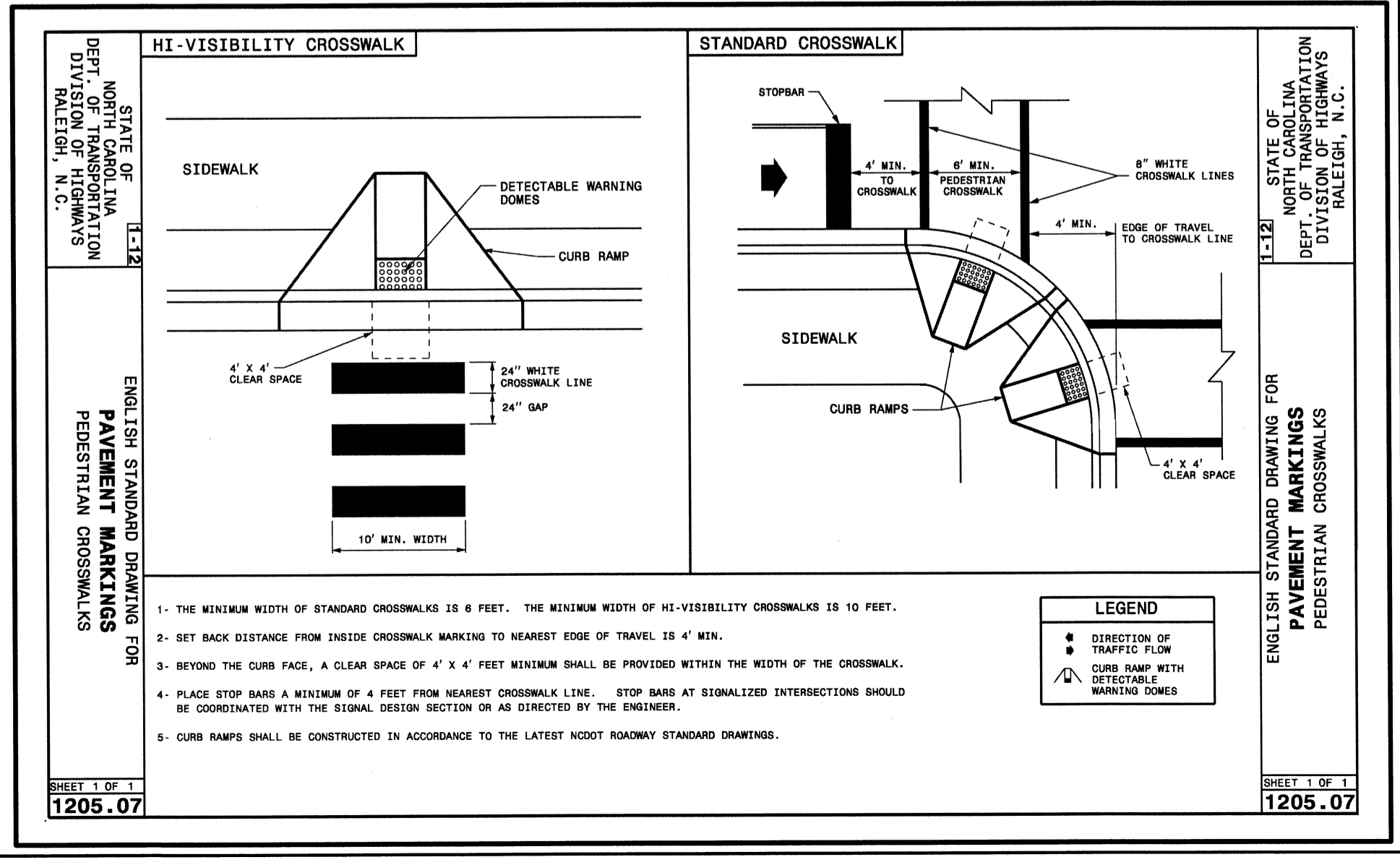
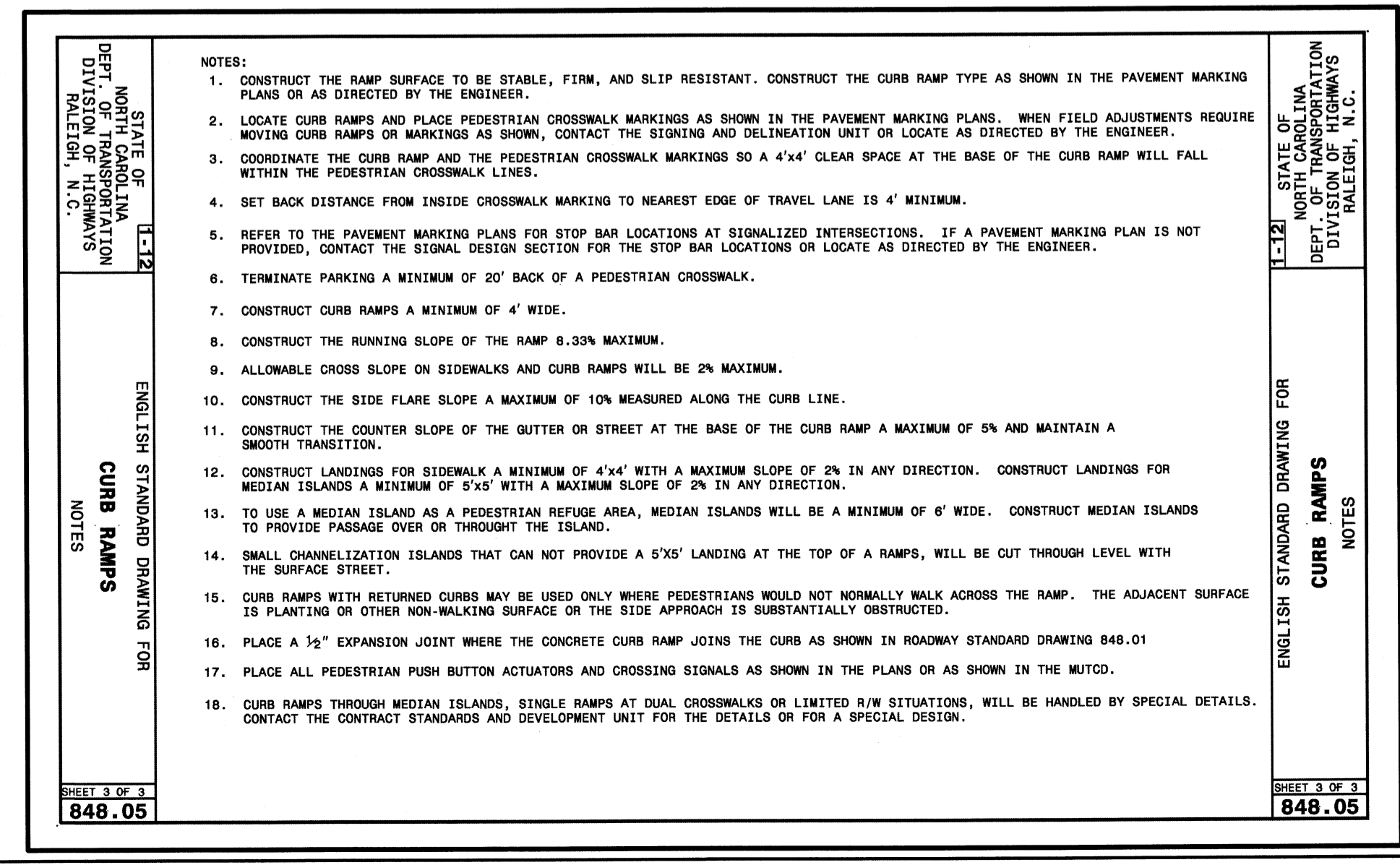
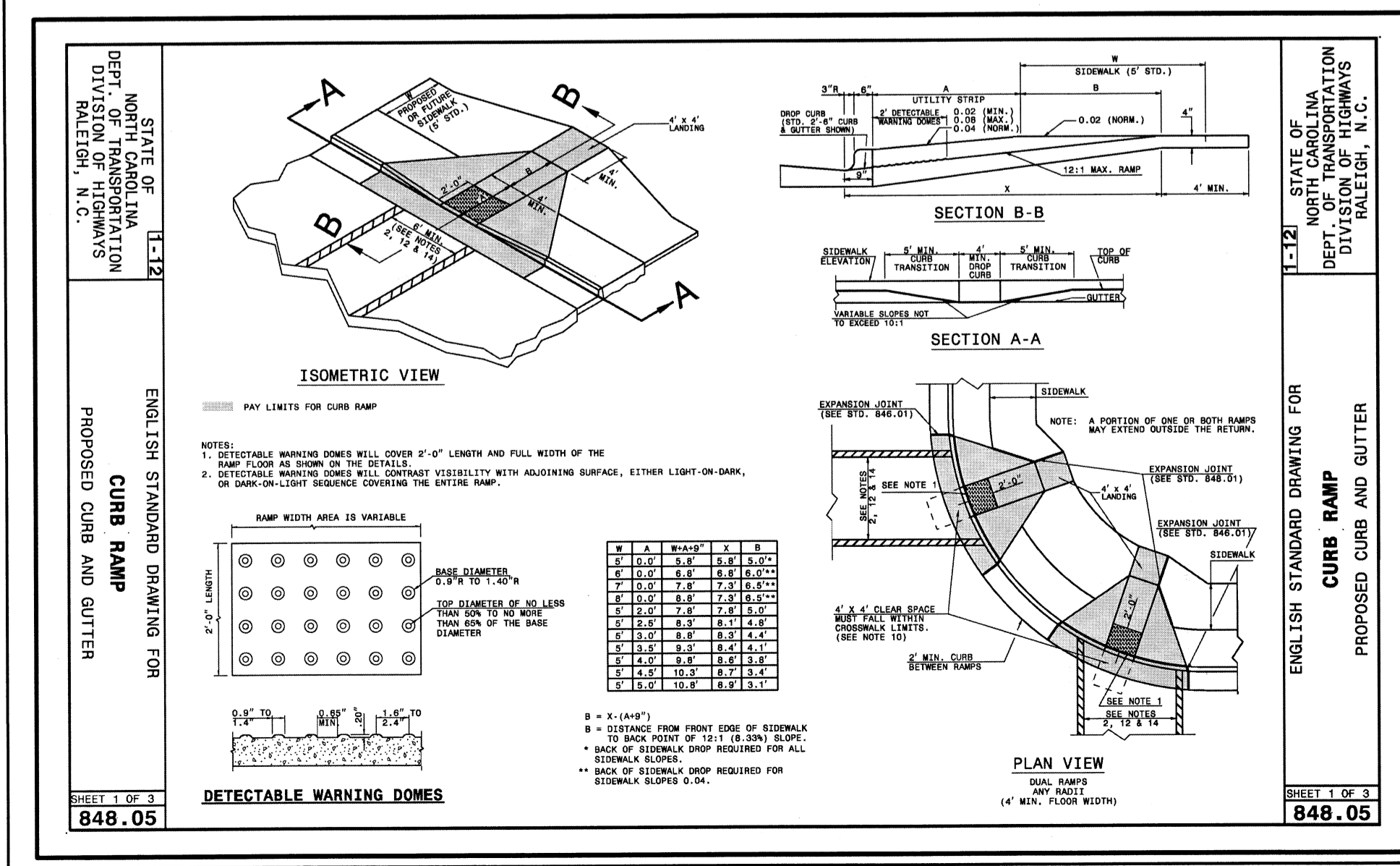
PEDESTRIAN IMPROVEMENT PLAN
FOR
FAMILY FARE MARKET ST.
WILMINGTON, NC

Charles D. Caier
2.2.17

CLIENT INFORMATION:
M. M. FOWLER, INC.
LEE BARNES
4220 NEAL ROAD
DURHAM, NC 27705
919-309-2925 EXT. 215

DRAWN:	BPD	SHEET SIZE:	24 x 36
CHECKED:	CDC	DATE:	2/2/017
APPROVED:	CDC	SCALE:	1" = 10'
PROJECT NUMBER:	2015-049		

DRAWING NUMBER:
C-9



SITE DATA:
 PROPERTY CURRENTLY OWNED BY:
 R & R COMPANY WILMINGTON LLC
 4951 NEW CENTRE DR
 WILMINGTON, NC 28403
 &
 RIPPY CADILLAC OLDS INC
 4951 NEW CENTRE DR
 WILMINGTON, NC 28401

PROPERTY ADDRESS:
 6 S 11th ST
 WILMINGTON, NC

NEW HANOVER COUNTY PINS:
 R04818-030-004-000,
 R04818-030-003-000,
 R04818-030-001-000

TOTAL TRACT AREA: ±1.25 AC. (54,450 SF)
DISTURBED AREA: ±1.29 AC. (56,342 SF) x 15 = 20 Trees 2.5" Cal. Req'd & Prov'd

CURRENT ZONING: CITY OF WILMINGTON
 UMX (URBAN MIXED USE)

CAMA CLASSIFICATION:
 URBAN

SETBACKS:

FRONT	REQ'D= 0'	PROP= 4'
REAR	REQ'D= 0'	PROP= 111'
SIDE	REQ'D= 0'	PROP= 4'L/195'R

PROPOSED LAND USE:
 CONVENIENT STORE

GROSS FLOOR AREA:
 4,500 SF (8.3% LOT COVERAGE)

BUILDING HEIGHT: ±20'

BUILDING CONSTRUCTION: TYPE V-B, UNSPRINKLED

EXISTING IMPERVIOUS SURFACES:
 PAVEMENT/BLDG PADS = 34,330 SF (63%)
 TO REMAIN = 0 SF

PROPOSED ONSITE IMPERVIOUS SURFACES:
 BUILDINGS = 4,500 SF
 PAVEMENT (ASPHALT/CONCRETE) = 25,814 SF
 SIDEWALKS = 947 SF
 FUTURE (OUTPARCEL) = 4,504 SF
 TOTAL IMPERVIOUS = 35,765 SF (65.7%)

PROPOSED OFFSITE IMPERVIOUS SURFACES:
 DRIVEWAY APRONS/SIDEWALK = 1,500 SF

TOTAL PARKING PROVIDED: 14 SPACES (1 HC)

BICYCLE PARKING REQUIRED:
 (5 spaces or 1 per 1,000 sf GFA)
 REQUIRED: 5 SPACES
 PROVIDED: 8 SPACES

STREET YARD:
 REQUIRED: 0 SF
 PROVIDED: 0 SF

FOUNDATION PLANTINGS:
 REQUIRED: 336 SF (2,800 SF X 12%)
 PROVIDED: 450 SF

WATER AND SEWER DEMAND:
 (250 GPD PER PLUMBING FIXTURE)
 SEWER: @ 250 GPD X 4 = 1,000 GPD
 WATER: @ 250 GPD X 4 = 1,000 GPD

PROPOSED IMPERVIOUS AREA (Parking/Driveways) 25,814 x 20% = 5,163 req'd shading
 707 SF SHADING x 2 = 1,414 SF SHADING PROVIDED
 353 SF SHADING x 12 = 4,236 SF SHADING PROVIDED
 TOTAL SHADING PROVIDED = 5,650 SF

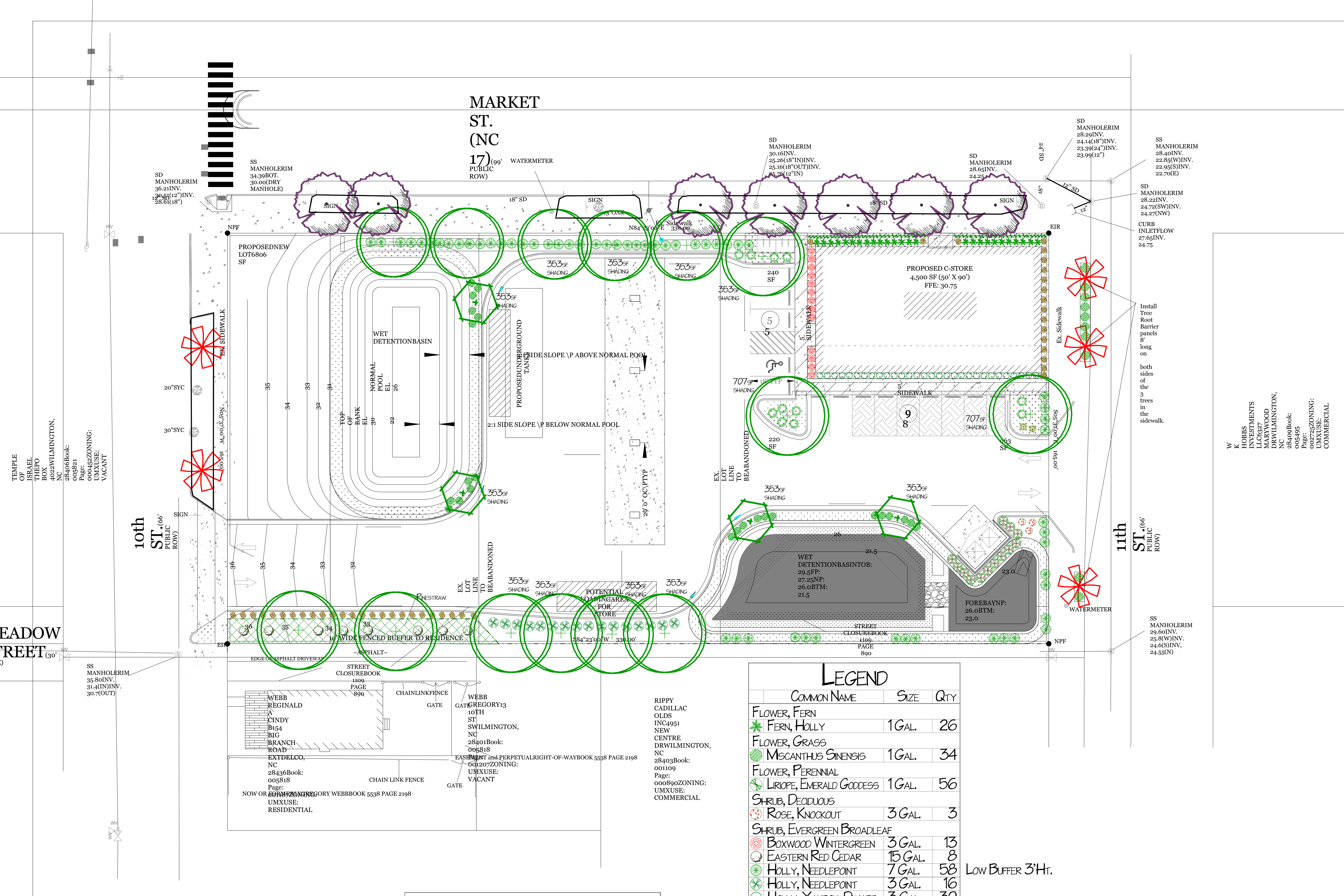
PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.

LANDSCAPING SHALL BE COMPLETE BEFORE ISSUANCE OF A C.O.
 ALL LANDSCAPE BEDS ARE TO BE MULCHED WITH 3" OF BROWN MULCH UNLESS SPECIFIED OTHERWISE

The areas within the triangular sight distance shall be maintained free of all obstructions between 30" and 10'.

A rain/freeze sensor shall be used if there is an irrigation system.

jim@freemanlandscape.com (910) 796-1166



LEGEND

COMMON NAME	SIZE	QTY
FLOWER, FERN		
* FERN, HOLLY	1 GAL.	26
FLOWER, GRASS		
* MISCANTHUS SINENSIS	1 GAL.	34
FLOWER, PERENNIAL		
* LIRIOPE, EMERALD GODDESS	1 GAL.	56
SHRUB, DECIDUOUS		
* ROSE, KNOCKOUT	3 GAL.	3
SHRUB, EVERGREEN BROADLEAF		
* BOXWOOD WINTERGREEN	3 GAL.	13
* EASTERN RED CEDAR	15 GAL.	8
* HOLLY, NEEDLEPOINT	7 GAL.	58
* HOLLY, NEEDLEPOINT	3 GAL.	16
* HOLLY, YALPON DWARF	3 GAL.	30
* LANTANA, ORANGE	1 GAL.	6
* LIGUSTRUM RECURVIFOLIUM	7 GAL.	13
* YEW, JAPANESE UPRIGHT	3 GAL.	43
SHRUB, EVERGREEN CONIFER		
* JUNIPER, PARSON	3 GAL.	13
TREE, DECIDUOUS		
* RIVER BIRCH, MULTI-STEM	25" CAL.	4
* TRIDENT MAPLE	25" CAL.	14
* EMERALD SUNSHINE ELM	2" CAL.	5
* OVERCUP OAK	2" CAL.	7

Low Buffer 3'Ht.

Approved Construction Plan

Name	Date
Planning	
Traffic	
Fire	

CITY OF WILMINGTON
 NORTH CAROLINA

Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN

Date: _____ Permit # _____

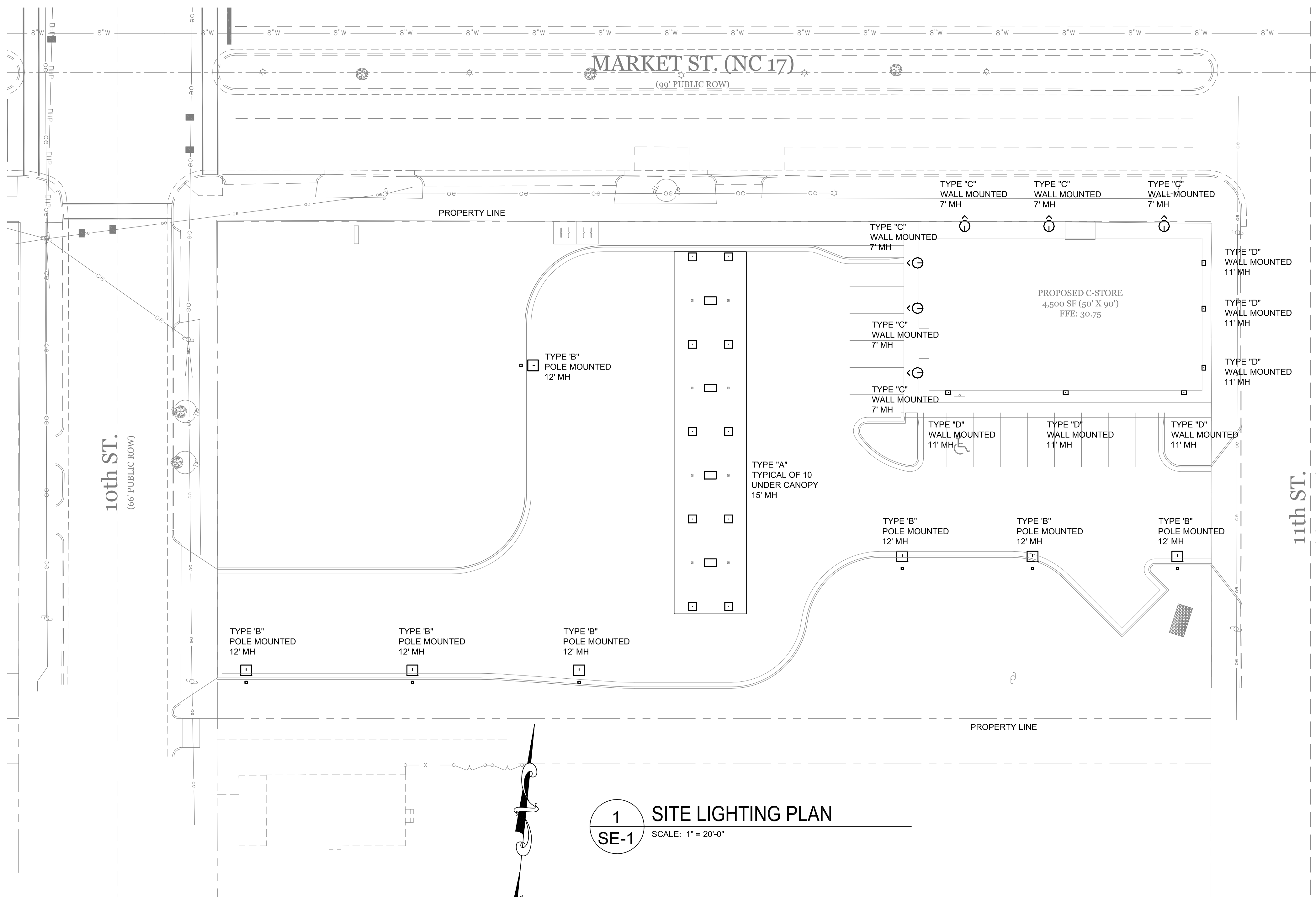
Signed: _____

Revision #: 2
 Date: 3/15/2017

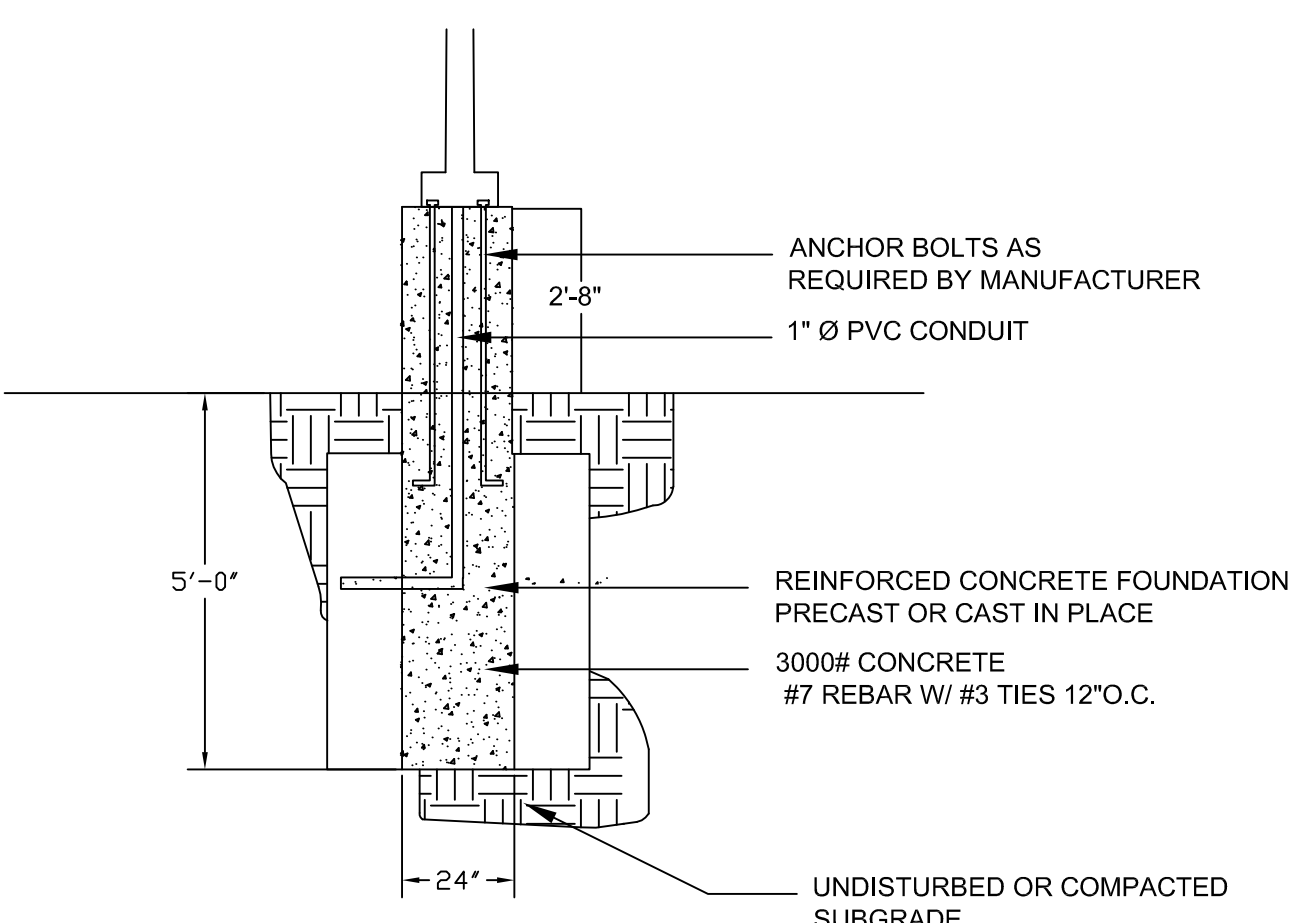
Scale:
 1" = 20'

Landscape Plan:
Family Fare, Market St.

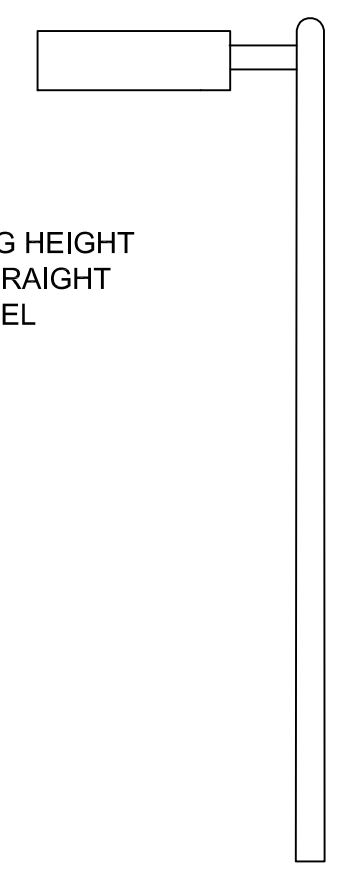
Landscape Design by: **James Freeman - NCLC #71**
Freeman Landscape, Inc.



1 SITE LIGHTING PLAN
SCALE: 1" = 20'-0"



2 FOUNDATION DETAIL
SCALE: N.T.S.



3 POLE MOUNTED FIXTURE
SCALE: N.T.S.

NOTES

1. PROVIDE NEW BRANCH CIRCUITS FROM PANELS AS DESIGNATED ON BUILDING PLANS TO POWER NEW EXTERIOR LIGHTS.
2. ALL EXTERIOR LIGHTS TO BE CONTROLLED FROM PHOTOCELL/TIME CLOCKS WITH MASTER OVERRIDE SWITCH.
3. NEW LIGHTS TO BE 208V 1Ø or 120V 1Ø, BRANCH CIRCUIT LOADS NOT TO EXCEED: 3328W PER 20A 208V CIRCUIT AND 1920W PER 20A 120V CIRCUIT.
4. LOCATIONS OF ALL LIGHTS, PANELS, ROUTING, ETC. ARE APPROXIMATE. VERIFY AND ADJUST ACTUAL CONDITIONS ACCORDINGLY.
5. VERIFY CIRCUITS, LOADS AND REQUIREMENTS BEFORE BEGINNING WORK.



TYPE "A"
LSI LED CANOPY LIGHT
CRUS-SC-LED-HO-CW



TYPE "B"
LSI LED AREA LIGHT
XLCM-FTE-HO-SW-HSS
WITH HOUSE SIDE SHIELD



TYPE "C"
LIGMAN LED WALLMOUNT
UQB-31060 W27



TYPE "D"
LSI LED WALLMOUNT
XGBWM3FT-LED 28

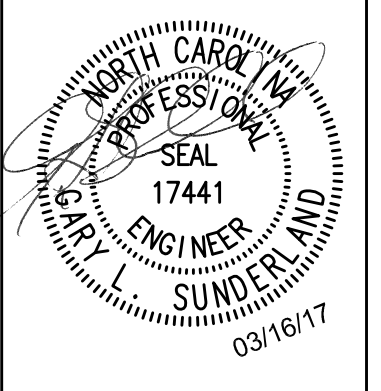
NOTES

PLANS SHALL CONFORM TO CITY OF WILMINGTON LIGHTING ORDINANCE CONTAINED IN:
https://www.municode.com/library/nc/wilmington/codes/code_of_ordinances
MUNICIPAL CODE, SECTION 18-204(c)(5), URBAN MIXED USE DISTRICT.

MAXIMUM MOUNTING HEIGHT OF FIXTURES IS 12'. ALL LIGHTS SHALL BE CUTOFF FIXTURES. NO LIGHT SHALL FALL ONTO ADJACENT PROPERTY.

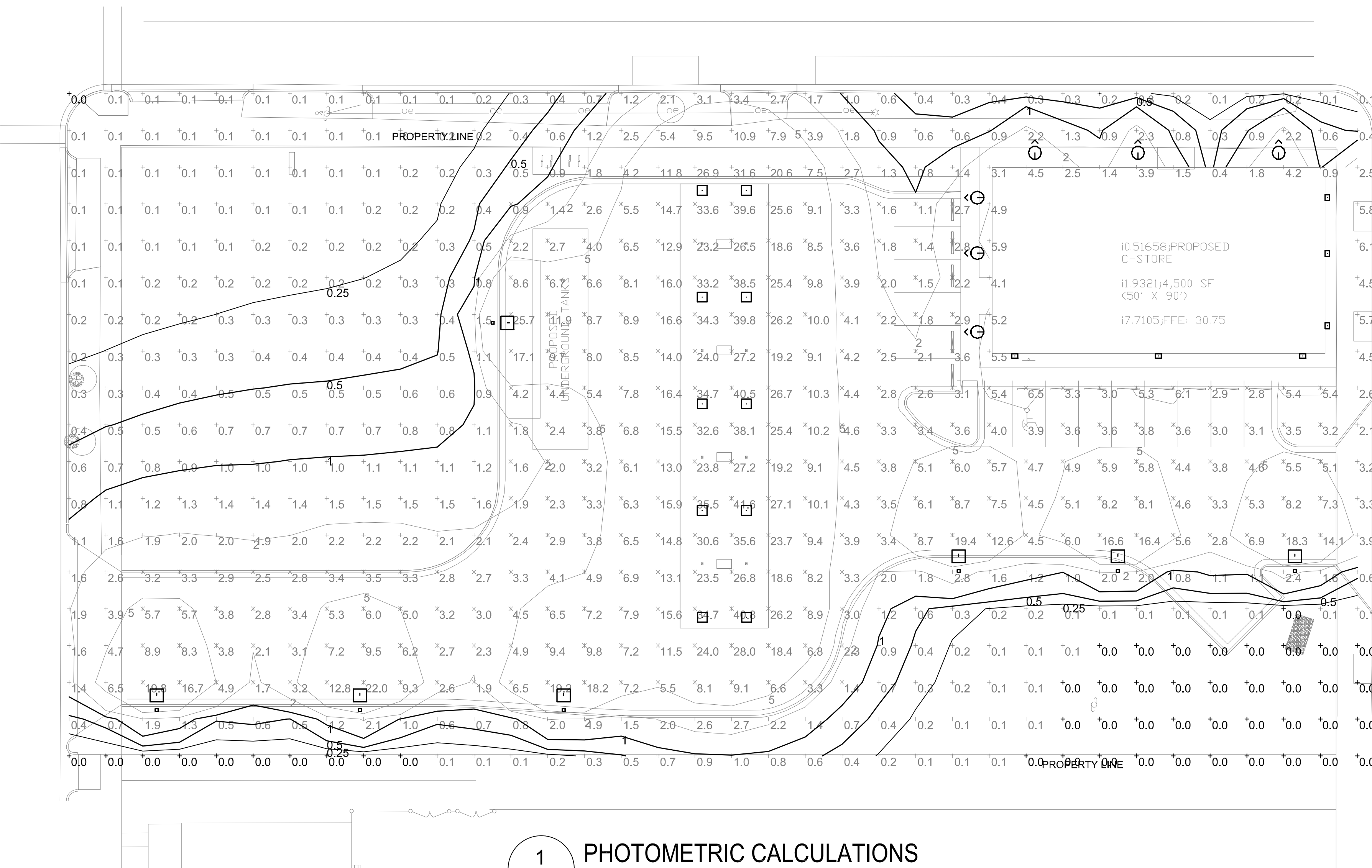
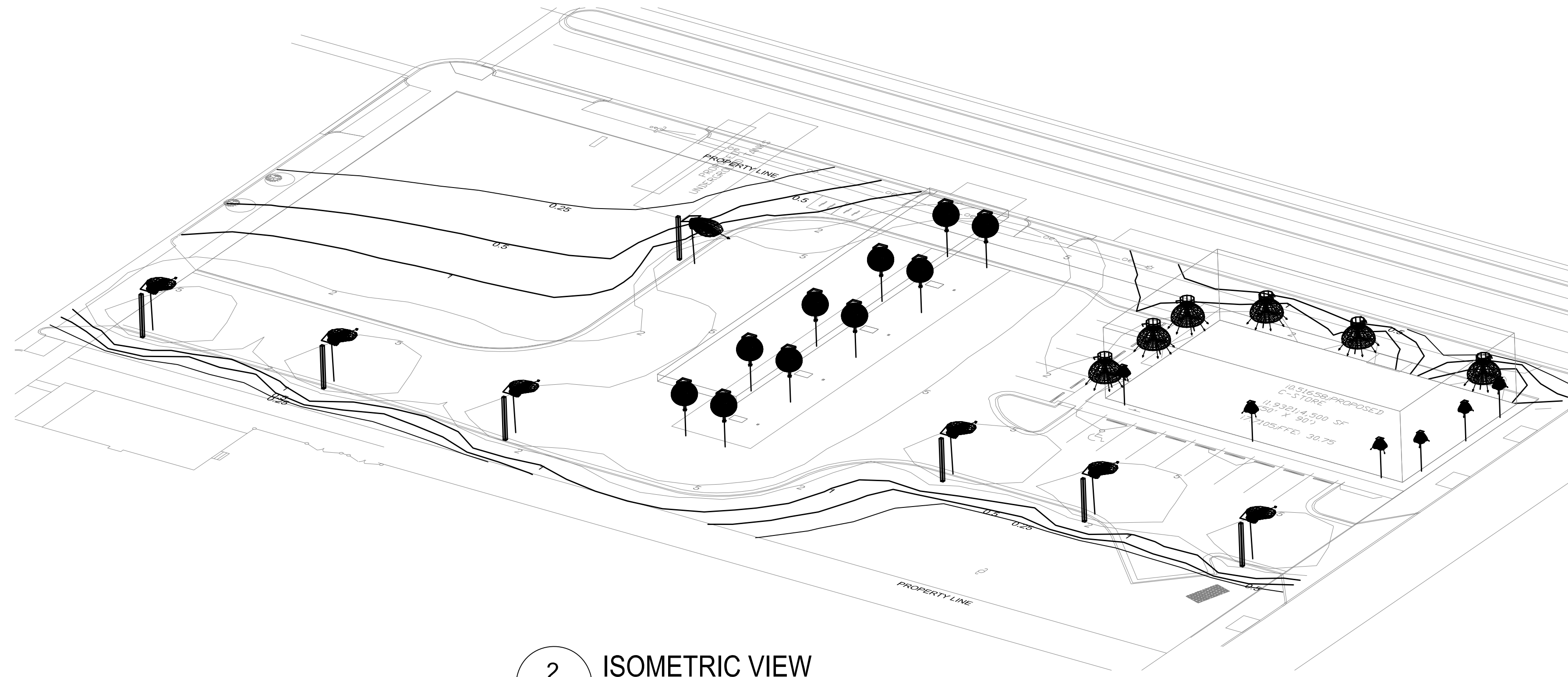
REVISIONS	BY

SUNDERLAND ENGINEERING, PLLC
NCBELS #P-0803
3328 GUESS RD, #2B
DURHAM, NC 27705
(919) 477-7031, 477-9028f
www.sunderlandeng.com
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SITE LIGHTING PLAN FOR
BP FAMILY FARE
6 S 11TH ST
WILMINGTON, NORTH CAROLINA

DATE	03/07/17
SCALE	AS NOTED
DRAWN	GLS
CHECK	GLS
JOB	21419.4
SHEET	SE-1

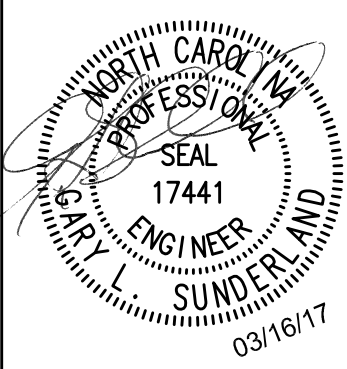


STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	4.7 fc	41.6 fc	0.0 fc	N/A	N/A
Stat Zone #1	X	32.3 fc	41.6 fc	23.2 fc	1.8:1	1.4:1
Stat Zone #2	X	9.7 fc	41.6 fc	0.9 fc	46.2:1	10.8:1

LUMINAIRE SCHEDULE							
Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens LLF Watts
□	A	10	CRU-SC-LED-HO-CW	CRU-SC-LED-HO-CW		CRU-SC-LED-HO-CW.IES	Absolute 1,00 139.6
□	B	7	XLCM-FT-LED-HO-NW-HSS	XLCM-FT-LED-HO-NW-HSS		XLCM-FT-LED-HO-NW-HSS.IES	Absolute 1,00 272.8
⊙	C	6	UQB-31060-W30	Qbs wall light clear diffuser LED	1 LED 3000K	UQB-31060-W30.IES	Absolute 1,00 41.7
○	D	0	CYL6-13-LED-40-26-HAZ	LAD6		CYL6-13-LED-40-26-HAZ.IES	Absolute 1,00 14
□	E	6	XGBWM3-WW-LED-28-350-NW-UE	XGBWM3-WW-LED-28-350-NW-UE		XGBWM3-WW-LED-28-350-NW-UE.IES	Absolute 1,00 34

REVISIONS	BY

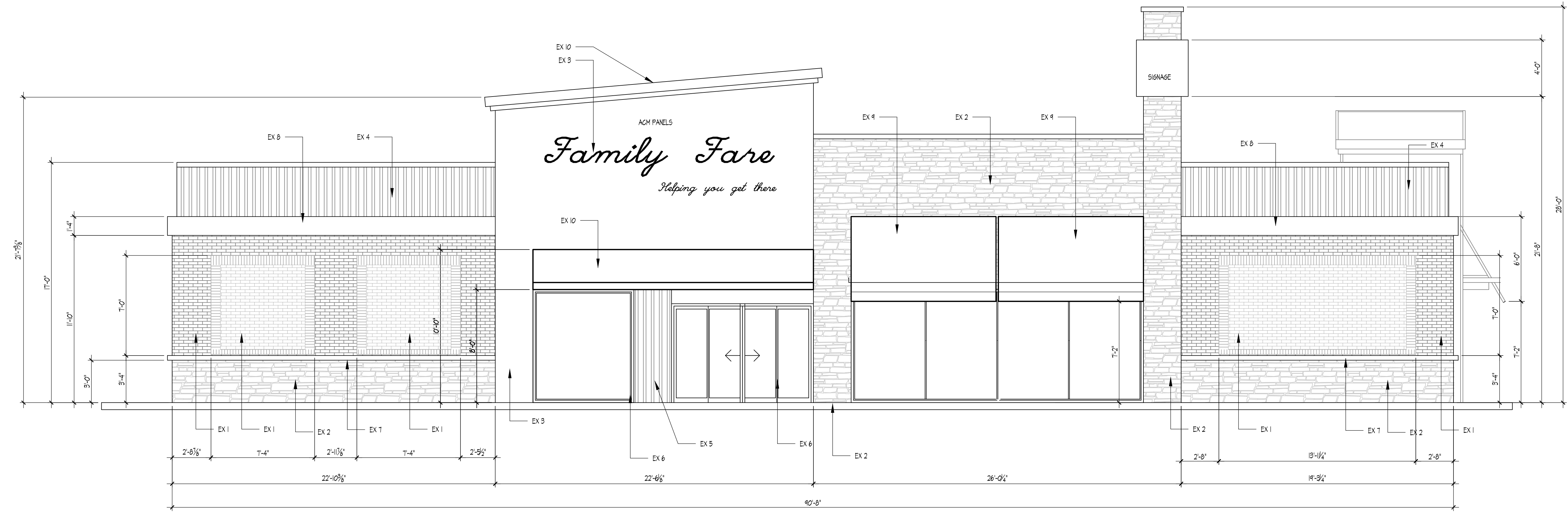
SUNDERLAND ENGINEERING, PLLC
 NCBELS #P-0803
 3328 GUESS RD, #2B
 DURHAM, NC 27705
 (919) 477-7031, 477-9028f
 www.sunderlandeng.com
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SITE LIGHTING PLAN FOR
BP FAMILY FARE
6 S 11TH ST
WILMINGTON, NORTH CAROLINA

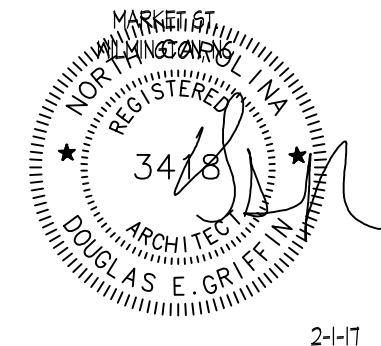
DATE	03/07/17
SCALE	AS NOTED
DRAWN	GLS
CHECK	GLS
JOB	21419.4
SHEET	SE-2

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201.1
 NORTH EXTERIOR ELEVATION
 SCALE: 1/2" = 1'-0"

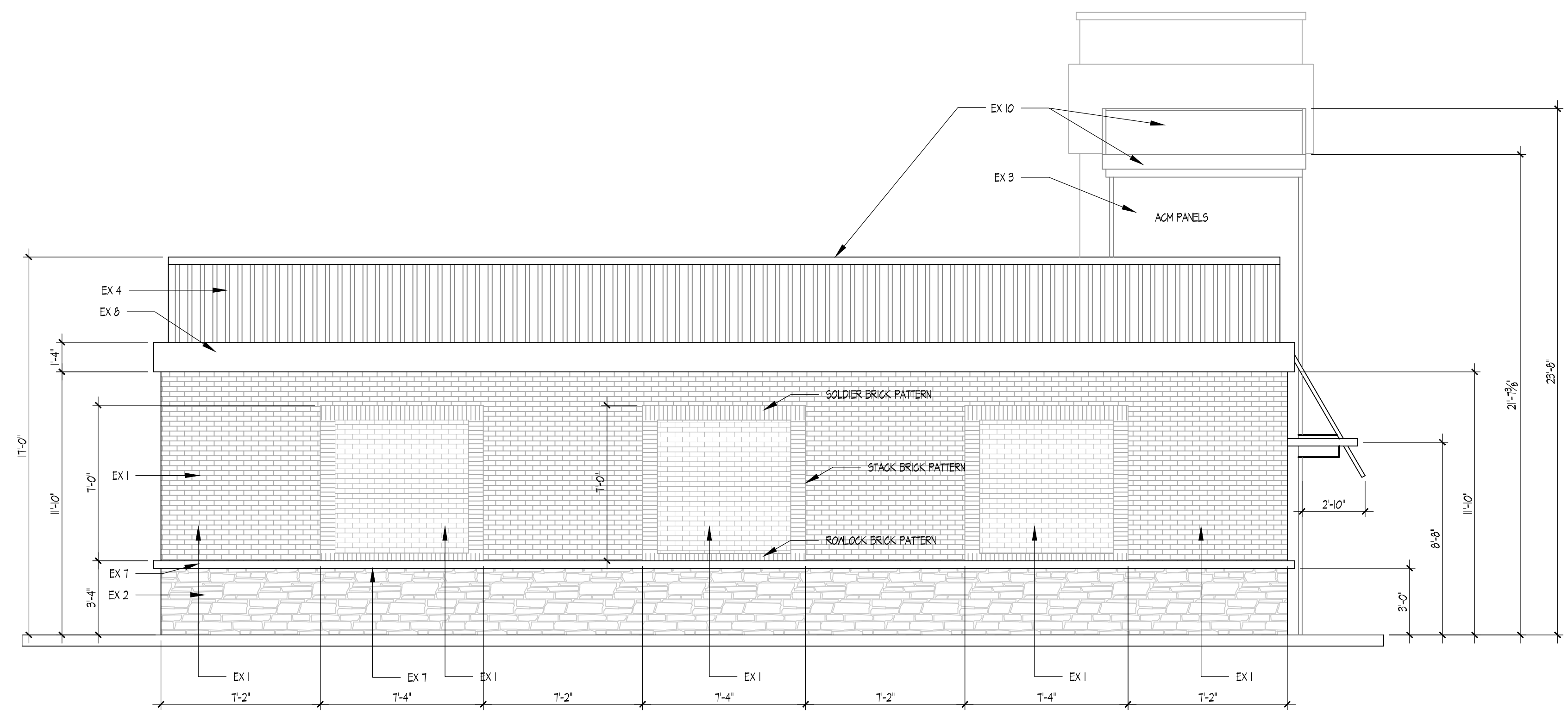
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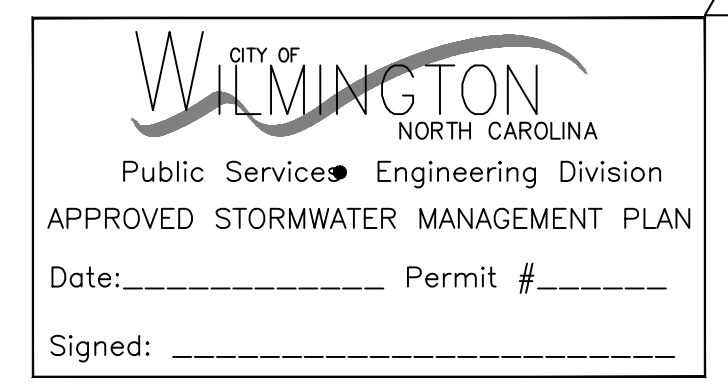
NEW FACILITY FOR:
FAMILY FARE
 MARKET ST
 WILMINGTON, NC

CODE	DESCRIPTION	COLOR	MANUFACTURER CONTACT	
EX1	EXTERIOR BRICK	COLOR: #CAMDEN TYPE: ARCHITECTURAL BRICK	TRIANGLE BRICK	BROWN-RED
EX2	EXTERIOR STONE	COLOR: #OYSTER TYPE: COURSE CUT STONE	ELDORADO STONE	LIGHT-BEIGE
EX3	EXTERIOR METAL SIDING	POWDER COATED #574 ONCE UPON A TIME TYPE: HR-1 G METAL WALL PANEL	BENJAMIN MOORE OR EQUAL BERRIDGE METAL OR EQUAL	GREEN
EX4	EXTERIOR METAL SIDING	POWDER COATED ZINC-COTE METALLIC TYPE: HR-1 G METAL WALL PANEL	BERRIDGE METAL OR EQUAL	LIGHT-GRAY
EX5	EXTERIOR METAL SIDING	POWDER COATED CHARCOAL GREY TYPE: HR-1 G METAL WALL PANEL	BERRIDGE METAL OR EQUAL	CHARCOAL
EX6	ALUMINUM STOREFRONT		CONSULT GENERAL CONTRACTOR	MILL FINISH
EX7	NATURAL STONE CAP	COLOR: #OYSTER	ELDORADO STONE	LIGHT-BEIGE
EX8	STUCCO BAND	#2142-50 GRAY MIRAGE FINISH: SANDPEBBLE FINE	BENJAMIN MOORE OR EQUAL DRYVIT OR EQUAL	LIGHT-GRAY
EX9	METAL AWNING	POWDER COATED #2021-30 SUNSHINE	CONSULT GENERAL CONTRACTOR BERRIDGE METAL OR EQUAL	YELLOW
EX10	METAL AWNING	POWDER COATED ZINC-COTE METALLIC	CONSULT GENERAL CONTRACTOR BERRIDGE METAL OR EQUAL	LIGHT-GRAY

EXTERIOR GENERAL NOTES
 1. J CONSULT LOCAL CONTRACTOR FOR STANDARD MATERIALS.
 2. J CONSULT PARAGON SOLUTIONS FOR COLOR VERIFICATION AND GRAPHICS.
 3. J MATERIALS MAY NOT BE SUBSTITUTED WITHOUT PERMISSION FROM OWNER OR PARAGON SOLUTIONS.



201.2
 EAST EXTERIOR ELEVATION
 SCALE: 1/2" = 1'-0"



Approved Construction Plan

Name _____ Date _____

Planning _____

Public Utilities _____

Traffic _____

Fire _____

DATE	BY
2-11-17	DGR

SCALE: 1/2" = 1'-0"

DRAWN: DGR

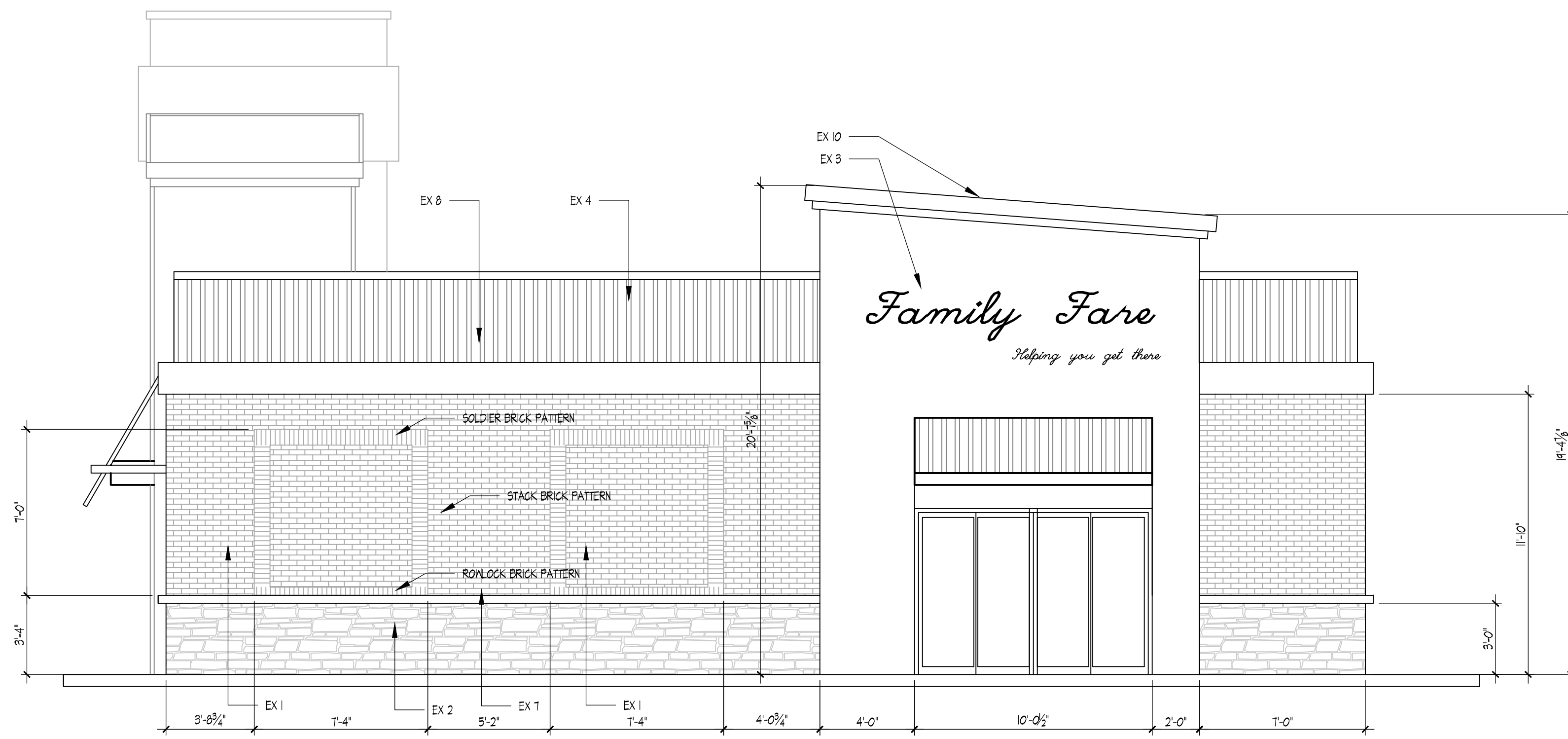
JOB: BARST

REVISIONS

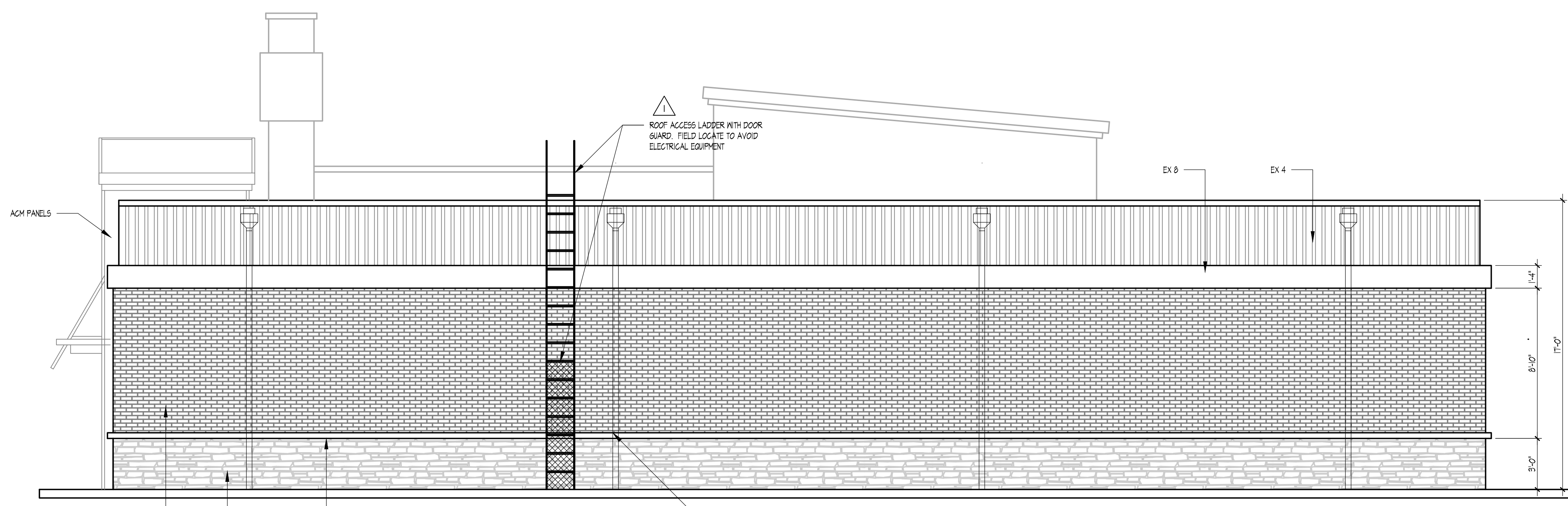
2-16-17 PERMITTING COMMENTS

SHEET

A-201

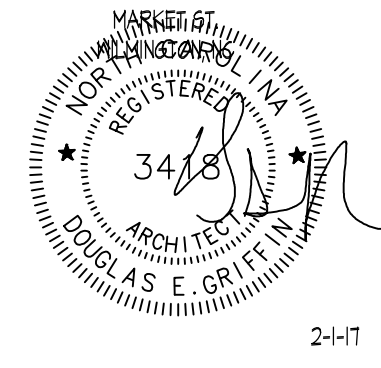


202.2
WEST EXTERIOR ELEVATION
 SCALE 1/2" = 1'-0"



202.1
SOUTH EXTERIOR ELEVATION
 SCALE 1/2" = 1'-0"

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 THE DRAWINGS HAVE BEEN PREPARED SOLELY FOR THE PURPOSES OF A PERMITTING AND INFORMATIONAL NECESSARY FOR THE USE FOR ANY OTHER PURPOSES, INCLUDING BUT NOT LIMITED TO THE SELECTION OF SPECIFIC BUILDING MATERIALS, OR THE CONSTRUCTION OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE ARCHITECT. THE SELECTION OF SPECIFIC BUILDING MATERIALS, OR THE CONSTRUCTION OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE ARCHITECT. THE SELECTION OF SPECIFIC BUILDING MATERIALS, OR THE CONSTRUCTION OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE ARCHITECT. THE SELECTION OF SPECIFIC BUILDING MATERIALS, OR THE CONSTRUCTION OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE ARCHITECT.
 THE ARCHITECT SHALL BE INVOLVED IN ANY AND ALL CHANGES, REVISIONS, OR SUBSTITUTIONS OF MATERIALS IN ANY FORM RELATIVE TO THE WORK INDICATED ON THESE DRAWINGS. IF CHANGES, REVISIONS, OR SUBSTITUTIONS OF MATERIALS ARE MADE WITHOUT THE ARCHITECT'S INVOLVEMENT, ALL WORK DESCRIBED ON THESE DRAWINGS IS HEREBY VOIDED AND SHALL BE CONSIDERED UNAPPROVED. COMPLIANCE WITH THE REQUIREMENTS OF THE ANY AND ALL APPLICABLE BUILDING CODES, IF THEY DIFFER FROM THE BUILDING CODES, IF THEY ARE DETERMINED BY THE ARCHITECT HAS CHANGES SHALL BE MADE TO THE ORIGINAL DATE OF THE OCCURRENCE OF THE CONSTRUCTION OF THE FACILITY THAT COMPLETES THE CONTRACT. COMPLIANCE WITH THE BUILDING CODES OF ANY OTHER CITY, COUNTY, OR STATE SHALL BE THE ARCHITECT'S RESPONSIBILITY. THE ARCHITECT WILL NOT BE RESPONSIBLE FOR ANY CHANGES TO THESE DRAWINGS THAT ARE NOT INDICATED ON THESE DRAWINGS.



NEW FACILITY FOR:
FAMILY FARE
 MARKET ST
 WILMINGTON, NC

DATE	2-4-17
SCALE	1/2" = 1'-0"
DRAWN	DGRIFIN
JOB	BARST
REVISIONS	
2-16-17 PERMITTING COMMENTS	

CITY OF WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division
 APPROVED STORMWATER MANAGEMENT PLAN
 Date: _____ Permit # _____
 Signed: _____

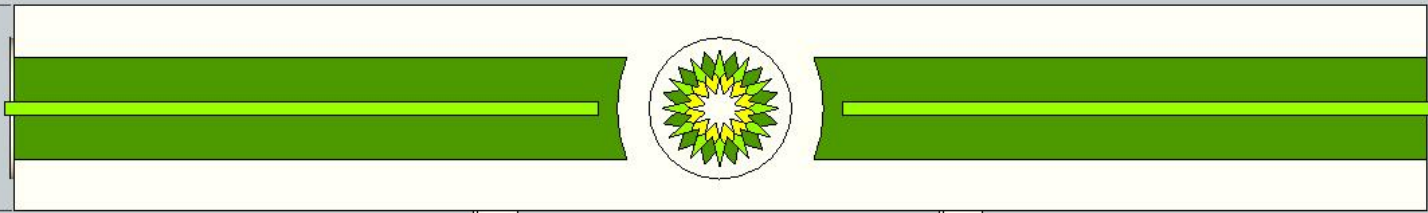
Approved Construction Plan

Name	Date
Planning	_____
Public Utilities	_____
Traffic	_____
Fire	_____

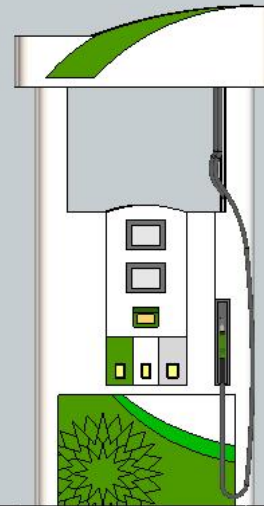
SHEET


A-202

3' 6"



15'




 Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
 Date: _____ Permit # _____
 Signed: _____

Approved Construction Plan
 Name _____ Date _____
 Planning _____
 Public Utilities _____
 Traffic _____
 Fire _____